



REGULAR MEETING OF COUNCIL
Tuesday, November 26, 2019 @ 4:30 PM
George Fraser Room, Ucluelet Community Centre,
500 Matterson Drive, Ucluelet

AGENDA

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1. CALL TO ORDER	
2. NOTICE OF VIDEO RECORDING Council would like to advise District of Ucluelet Staff, audience members and delegates that this Council proceeding is being video recorded and the recording will be live streamed or subsequent published on the District of Ucluelet's YouTube channel.	
3. ACKNOWLEDGEMENT OF FIRST NATIONS TERRITORY Council would like to acknowledge the Yuułuʔiłʔatḥ First Nations on whose traditional territories the District of Ucluelet operates.	
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11.3	Councillor Lara Kemps <i>Deputy Mayor April - June 2019</i>	
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- 13.2. Lot 13 Marine Drive - Proposed Affordable Housing
Bruce Greig, Manager of Community Planning
[L-2 Lot 13 Marine Drive](#)

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- 14. OTHER BUSINESS
- 15. QUESTION PERIOD
- 16. ADJOURNMENT

DISTRICT OF UCLUELET
MINUTES OF THE REGULAR COUNCIL MEETING
HELD IN THE GEORGE FRASER ROOM, 500 MATTERSON DRIVE
Tuesday, November 12, 2019 at 2:30 PM

Present: **Chair:** Mayor Noël
 Council: Councillors Cole (attended via teleconference), Hoar, Kemps, and McEwen
 Staff: Mark Boysen, Chief Administrative Officer
 Donna Monteith, Chief Financial Officer
 Warron Cannon, Manager of Public Works
 Bruce Greig, Manager of Planning
 John Towgood, Planner 1
 Joseph Rotenberg, Manager of Corporate Services
 Nicole Morin, Corporate | Planning Clerk

Regrets:

1. CALL TO ORDER

1.1 Mayor Noël called the meeting to order at 2:30 PM.

2. ACKNOWLEDGEMENT OF FIRST NATIONS TERRITORY

Council acknowledged the Yuułu?i?ath First Nations on whose traditional territories the District of Ucluelet operates.

3. NOTICE OF VIDEO RECORDING

Council advised District of Ucluelet Staff, audience members and delegates that this Council proceeding is being video recorded and the recording will be live streamed or subsequently published on the District of Ucluelet's YouTube channel.

4. ADDITIONS TO AGENDA

4.1

There were no additions to the agenda.

5. APPROVAL OF AGENDA

5.1 November 12, 2019 Regular Agenda

2019-001

It was moved by Councillor McEwen and seconded by Councillor Kemps
THAT Council approve the November 12, 2019 Regular Agenda as presented.

CARRIED.

6. ADOPTION OF MINUTES

6.1 October 22, 2019 Regular Minutes

2019-002 **It was moved by Councillor McEwen and seconded by Councillor Kemps**
 THAT Council approve the October 22, 2019 Regular Minutes as presented.
CARRIED.

7. UNFINISHED BUSINESS

7.1 There was no unfinished business.

8. MAYOR'S ANNOUNCEMENTS

8.1 **Mayor Noël expressed thanks to community members who attended the local Remembrance Day Ceremony.**

9. PUBLIC INPUT, DELEGATIONS & PETITIONS

9.1 There was no public input.

10. CORRESPONDENCE

10.1 **Appointments to the 2020 Vancouver Island Regional Library Board**
 Mariah Patterson, Executive Assistant, Vancouver Island Regional Library

2019-003 **It was moved by Mayor Noël and seconded by Councillor Hoar**
 THAT Council appoint Councillor McEwen as Trustee and Councillor Hoar as alternate to the 2020 Vancouver Island Regional Library Board.
CARRIED.

10.2 **Surf Canada Request for Letter of Support**
 Dom Domic, Executive Director, CSA Surf Canada

2019-004 **It was moved by Councillor Kemps and seconded by Councillor McEwen**
 THAT Council directs Staff to provide a letter of support for Surf Canada's special events application.
CARRIED.

10.3 **LGLA Leadership Forum Registration**
 UBCM

2019-005 **It was moved by Councillor McEwen and seconded by Councillor Cole**
 THAT Council moved that Councillor McEwen and Councillor Cole will attend the LGLA Leadership forum in February 2020.
CARRIED.

11. INFORMATION ITEMS

11.1 **UBCM 2019 Follow Up - MoTI Staff Meeting**
 Janelle Staite, Deputy Director, South Coast Region - MoTI

11.2 Hwy 4 Kennedy Hill Safety Improvements Traffic Interruptions Update
Erin Pomeroy, EAC Project Coordinator

12. COUNCIL COMMITTEE REPORTS

12.1 Councillor Rachelle Cole

Deputy Mayor October - December 2019

- Oct 29, attended BC Transit Open House
- Nov 1, attended District of Ucluelet Societies Meeting

12.2 Councillor Marilyn McEwen

Deputy Mayor November 2018 - March 2019

- Oct 23 & 24, attended Vancouver Island State of the Island Summit (VIEA)
- Oct 29, attended BC Transit Open House
- Nov 1, attended District of Ucluelet Societies Meeting
- Nov 11, attended Remembrance Day Ceremony

12.3 Councillor Lara Kemp

Deputy Mayor April - June 2019

- Oct 30, attended District Parent Advisory Council
- Nov 1, attended District of Ucluelet Societies Meeting
- Nov 1, attended BC Hydro Meeting
- Nov 7, workshops for Chamber of Commerce
- Nov 11, Remembrance Day Ceremony

12.4 Councillor Jennifer Hoar

Deputy Mayor July - September 2019

- Nov 1, attended District of Ucluelet Societies Meeting
- Nov 13, will attend Aquarium AGM
- Nov 15 - Dec 15, Foodbank on the Edge - Reverse Advent Calendar Initiative

Councillor Cole left the meeting due to technical difficulties at 2:50 PM.

12.5 Mayor Mayco Noël

- Oct 23 & 24, attended VIEA Summit
- Oct 30, West Coast Resource Community Society AGM
- Nov 1, attended Societies Meeting
- Nov 9, attended Seaview Senior's Society AGM

13. REPORTS

13.1 Five Year Financial Plan 2019-2023 Bylaw Variance Report - Q3
Donna Monteith, Chief Financial Officer

- 2019-006 **It was moved by Councillor McEwen and seconded by Councillor Hoar**
THAT Council approve recommendation 1 of the report item, “Five Year Financial Plan 2019-2023 for the District on a quarterly basis.” which states:
1. *That Council receives the Five Year Financial Plan 2019-2023 Variance Report for the Third Quarter ending September 30, 2019.*
- CARRIED.

13.2 Quarterly Projects Update - 3rd Quarter 2019
Mark Boysen, Chief Administrative Officer

Councillor Cole rejoined the meeting at 2:55 PM due to technical difficulties.

- 2019-007 **It was moved by Councillor Kemps and seconded by Councillor McEwen**
THAT Council approve recommendation 1 of the report item, “Quarterly Projects Update – 3rd Quarter 2019” which states:
1. *THAT Council receives this 2019 Q3 update on the progress of budgeted Staff projects.*
- CARRIED.

13.3 Council Meeting Schedule 2020
Joseph Rotenberg, Manager of Corporate Services

- 2019-008 **It was moved by Councillor Hoar and seconded by Mayor Noël**
THAT Council approves recommendation 1 of the report item “2020 Council Meeting Schedule” which states:
1. *THAT Council adopt the proposed 2020 Council Meeting Schedule as presented.*
- CARRIED.

- 2019-009 **It was moved by Councillor Hoar and seconded by Councillor McEwen**
THAT Council approves recommendation 2 of the report item “2020 Council Meeting Schedule” which states:
2. *THAT Council direct staff to give notice of the 2020 Council Meeting Schedule in accordance with the Community Charter.*
- CARRIED.

13.4 Grants In Aid & In-Kind Contributions Policy
Donna Monteith, Chief Financial Officer

- 2019-010 **It was moved by Councillor McEwen and seconded by Councillor Hoar**
THAT Council approve recommendation 1 of the report item “Grants in Aid & In-Kind Contributions Policy Report” which states:
1. *THAT Council adopt Policy Number 5-1950-2, Grants in Aid & In-Kind Contributions.*
- CARRIED.

2019-011 **It was moved by Councillor McEwen and seconded by Councillor Hoar**
THAT Council approve recommendation 2 of the report item “Grants in Aid & In-Kind Contributions Policy Report” which states:
 2. *THAT Council repeal Policy Number 5-1950-1, Grants in Aid*
CARRIED.

13.5 Waterworth (Verbal Report)
Mark Boysen, Chief Administration Officer

Waterworth Consultant presented graphs and discussed how this tool is designed to work to assist Council and Staff in future decision making.

Councillor Cole left the meeting due to technical difficulties at 3:12 PM.

13.6 Cheque Listing - October 2019
Joseph Rotenberg, Manager of Corporate Services

14. LEGISLATION

14.1 Road Closure Bylaw No. 1252, 2019 (985 Peninsula Road)
Bruce Greig, Manager of Community Planning

Mr. Greig, Manager of Community Planning, showed slides of the area subject to the Road Closure Bylaw and the merits of the agreement between the property owners and the District.

The public was invited to comment on the Bylaw. There were no comments from the public.

Bruce Greig, Manager of Community Planning, read Lauri Skene’s letter into the record, dated November 11, 2019, and responded to questions from the letter. There were no follow up questions from Council.

2019-012 **It was moved by Councillor McEwen and seconded by Councillor Hoar**
THAT Council approve recommendation 1 of the report item “Road Closure Bylaw No. 1252, 2019” which states:
 1. *THAT Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019, be introduced and read a first time.*
CARRIED.

2019-013 **It was moved by Councillor McEwen and seconded by Councillor Hoar**
THAT Council approve recommendation 2 of the report item “Road Closure Bylaw No. 1252, 2019” which states:
 2. *THAT Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019, be read a second time.*
CARRIED.

2019-014 **It was moved by Councillor McEwen and seconded by Councillor Kemps**

THAT Council approve recommendation 3 of the report item “Road Closure Bylaw No. 1252, 2019” which states:

3. THAT Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019, be read a third time.

CARRIED.

15. OTHER BUSINESS

Council asked if there is a plan in place for expanding Christmas lighting? Mr. Boysen, Chief Administrative Officer, noted that the Parks & Recreation Department has been adding to the budget for additional Christmas Lighting and will continue to look at expanding this as part of the Strategic Plan Discussions.

Council asked when the budget meetings will be held? Ms. Monteith, Chief Financial Officer, noted that the budget meeting will be on the next schedule and there will be one budget meeting per month. She noted that the proposed schedule will be forwarded to Council before the meeting.

16. QUESTION PERIOD

16.1

There were no members of the public who wished to speak.

17. ADJOURNMENT

17.1 Mayor Noël adjourned the meeting at 4:04 PM.

CERTIFIED CORRECT: Minutes of the Regular Council Meeting held on Tuesday, November 12, 2019 at 2:30 pm in the George Fraser Room, Ucluelet Community Centre, 500 Matterson Road, Ucluelet, BC.

Mayco Noël
Mayor

Mark Boysen
CAO



DISTRICT OF UCLUELET

Request to Appear as a Delegation

All delegations requesting permission to appear before Council are required to submit a written request or complete this form and submit all information or documentation by 11:00 a.m. the Wednesday preceding the subsequent Council meeting. Applicants should include the topic of discussion and outline the action they wish Council to undertake.

All correspondence submitted to the District of Ucluelet in response to this notice will form part of the public record and will be published in a meeting agenda. Delegations shall limit their presentation to ten minutes, except by prior arrangement or resolution of Council.

Please arrive 10 minutes early and be prepared for the Council meeting. The Mayor (or Acting Mayor) is the chairperson and all comments are to be directed to the chairperson. It is important to address the chairperson as Your Worship or Mayor Noël.

The District Office will advise you of which Council meeting you will be scheduled for if you cannot be accommodated on your requested date. For more information contact the District Office at 250-726-7744 or email info@ucluelet.ca.

Requested Council Meeting Date: _____

Organization Name: _____

Name of person(s) to make presentation: _____

Topic: _____

Purpose of Presentation:

- Information only
- Requesting a letter of support
- Other (provide details below)

Please describe:

Contact person (if different from above): _____

Telephone Number and Email: _____

Will you be providing supporting documentation? Yes No

If yes, what are you providing?

Handout(s)
 PowerPoint Presentation

Note: Any presentations requiring a computer and projector/screen must be provided prior to your appearance date. The District cannot accommodate personal laptops.

From Mio: Rediscovering Japanese Canadian Transpacific Historiographies for Glocal Community Building

A Community-Based Participatory Action Research Project on Pre-World War 2 Migration between Mio, Wakayama (America-mura), Japan and Vancouver Island, BC, Canada

Lisa Domae 堂前 リサ, Ph.D., MCIP, North Island College, British Columbia, Canada

河上幸子 Sachiko Kawakami, Ph.D., Kyoto University of Foreign Studies, Kyoto, Japan

To support place-based roots and historical tourism and the ongoing reconstruction of the Japanese Canadian community, the purpose of this bilingual, multi-sector, Canada-Japan research program is to use a community-based participatory action-research (CBPR) framework to document for public and academic audiences, the historiographies of the first migrants (Issei) from Mio, Wakayama to Vancouver Island, British Columbia, Canada. CBPR is a transformative “partnership approach to research that equitably involves community members, organization representatives, and researchers in all aspects of the research process”.¹ Taking a transpacific perspective that is conducted synonymously in English and Japanese and in partnership with community members, organizations, and higher education institutions, ‘From Mio’ will directly enrich Japanese Canadians while engaging with and contributing to small rural communities’ efforts to animate their histories and vitalize themselves based on roots and historical tourism.

Mio, Wakayama, an isolated village of 1,221 people in the late 1800s was one of the largest single sources of pre-World War 2 Japanese migrants to Canada.² By 1939, 3,230 Japanese Canadians could directly trace their roots to Mio.³ 2014 estimates suggest that number now exceeds 10,000, comprising 10% of Canada’s Japanese Canadian population.⁴ The migration of most of the adult male labour force to coastal British Columbia economically, physically and socially transformed Mio, which became known as America-mura (America village) as a result.⁵ The trans-pacific story of Mio’s transformation from the “harbor to return home to” to the “mother village where one explores one’s roots” has not been fully told.⁶ Having disembarked in Victoria, many Issei settled in small resource-rich communities on Vancouver Island while maintaining connections with the larger ethnic enclave that was Steveston. While the historiographies of Japanese migration between Mio and Steveston have been well chronicled, the story of pre-war Japanese migration to and from Canada is also profoundly rural, reflecting the mobility patterns of economic migrants pursuing wealth in the fishing industry and shifting to forestry, mining and farming seasonally and as a result of fishing license restrictions.

The dynamic between Mio, Wakayama and rural Vancouver Island locales remains largely unexplored.⁷ 3,400 Nikkei lived on Vancouver Island in 1941 when World War 2 began.⁸ Wakayama originating settlements across Vancouver Island were devastated by the internment of every coastal Japanese Canadian during World War 2. Community-based organizations have collected, preserved and restored records, artefacts and landscapes that internees left behind. Their work deserves animation and public attention. Connecting and documenting these resources for the Japanese Canadian community and for the academic record is also long overdue.

‘From Mio’ brings together a diverse group of transpacific stakeholders in a collaboration that will:

- examine and document pre-war Japanese migration between Mio and Vancouver Island
- examine and document the long-term impact of emigration on the village of Mio and the receiving communities
- document the post-war and place-based preservation and rehabilitation of records, artefacts and landscapes from these communities
- examine and document the experiences of Japanese Canadians and Japanese in search of their family roots in Japan and Canada and develop a model for Vancouver Island Nikkei tourism.

¹ Israel, B. (2013). *Methods for Community-based Participatory Research for Health*. San Francisco: Jossey-Bass.

² Adachi, K. (1976). *The Enemy That Never Was: The History of the Japanese Canadians*. Toronto, Ontario: McClelland and Stewart. p. 18

³ Fukawa, M., Fukawa, S., & Committee, N.F.S.H.B. (2009). *Spirit of the Nikkei Fleet: BC’s Japanese Canadian Fishermen*. Vancouver, BC: Harbour Publishing, p. 15

⁴ Nishihama, H. (2014). アメリカ村 (Amerikamura). Retrieved from <http://jacs.jp/dictionary/dictionary-a/09/19/462/>

⁵ Fukawa, M., Fukawa, S., & Committee, N.F.S.H.B. (2009). *Spirit of the Nikkei Fleet: BC’s Japanese Canadian Fishermen*. Vancouver, BC: Harbour Publishing.

⁶ Nishihama, H. (1993). Kanada no Imin no Chichi Kuno Gihei. *Ijyu Kenkyu*, 30, 170-184.

⁷ Kawahara, N. (2018). Perspectives and Issues Concerning Research of Japanese Fisheries History in Canada (In Japanese), *Ritsumeikan Bungaku (The Journal of Cultural Sciences)* 656:121-135.

⁸ Takata, T. (1996). Foreword. In C. Lang (Ed.), *O-Bon in Chimunesu: A Community Remembered* (pp. 9-18): Arsenal Pulp Press.

**持続可能なグローバルコミュニティ形成をめざすための日系カナダ史の再探求
和歌山県美浜町三尾地区（アメリカ村）とカナダBC州バンクーバー島間の戦前期移住に関する
参加型アクションリサーチ（CBPR）**

Lisa Domae（堂前 リサ）North Island College
河上 幸子（Sachiko Kawakami） 京都外国語大学

日本からカナダへの最初の移住がおこなわれてから140年が過ぎた。主に戦前に移民を送り出した日本の村も、移民が定着したカナダのホスト社会も、移民をめぐる地域史の掘り起こしや日英両語でのアーカイブ化、またその持続的な活用のための人材育成や仕組み作りが喫緊の課題である。しかしながら、日本でもカナダでも地方都市においては、当事者の高齢化が進み、人材や資金の調達に問題を抱えている。そこで本研究では、これまで和歌山県美浜町三尾地区およびカナダブリティッシュコロンビア州バンクーバー島をそれぞれのフィールドとし教育事業や社会連携に携わってきた研究者が呼びかけ人となり、研究者が専門家としてコミュニティに対する研究をおこなうという立場からではなく、ファシリテーターとしてコミュニティと対等な立場で協働する過程を強調する参加型アクションリサーチ（CBPR）の考え方を参考にしながら¹、日本とカナダ双方の関連分野の研究者や市民研究者、地域活動に携わる住民、自治体、当該地域の学校や博物館、コミュニティ団体などと連携して、まだ研究の進んでいない三尾からバンクーバー島への初期移民に関する資料収集および整理をおこなうこと、そして当該両地域の持続的な発展と文化継承につながる研究成果の活用を日英両語で議論し、実践することを目的とする。

和歌山県美浜町三尾地区は、1800年代末ごろに人口1,221名の人里離れた村であったが、第二次世界大戦前にカナダへ移民を送り出した移民母村としては最大級であり、1939年までには3,000人を超える日系カナダ人が三尾に直接的な出自をもっていたといわれる。ブリティッシュコロンビア州沿岸への主に成人男性中心の三尾からの初期移民は、アメリカ村としても知られる三尾を経済的、物理的、社会的に一変させた。従来の研究では、カナダへ渡った三尾出身の一世たちはスティーブストンに集住し鮭漁やサケ缶詰産業に従事してきたことが強調されてきたが、漁業従事期以外の季節に、こうした人々が炭鉱や製材資源、農地を求めてバンクーバー島の小集落へと二次移住を繰り返しながら生計をたてていた事実については、ほとんど研究の対象となっておらず明らかにされていない²。第二次世界大戦が始まった1941年当時、3,400人の日系人が、コモックス、チェマイナス、ナナイモ、キャンベルリバー、トフィーノ、ユークルレット、ポートアルバーニやガルフ島、ディスカバリー島におり、第二次世界大戦中の日系人の強制収容によって取り壊されるまで、そこにはすべて和歌山出身者の居住区があった。コミュニティ団体がそこに残されたものを収集し保存しているが、そうした品は日の目を見ることがなかった。こうした資源を日本とカナダにまたがる三尾出身者のコミュニティにつなげる試みも、学術的な記録を残すこともなされてこなかった。こうした問題意識から、本研究では、戦前のバンクーバー島に存在した三尾出身者の居住地を調査するとともに、その子孫が今日、日本やカナダで家族のルーツ探しを行なっている現状やその意味合い、さらに三尾やバンクーバー島において埋もれてきた歴史的資料の保存や継承といった問題についてデータを収集してコミュニティの人びとや関係機関と連携しながら考察し、今後の活用に向けて議論していく。

¹ 武田文(2015)「<特集論文：コミュニティと協働する研究方法論：CBPR>コミュニティを基盤とした参加型リサーチ（CBPR）の展望：コミュニティと協働する研究方法論」『人間福祉学研究』8(1): 9-25.

² 河原典史(2018)「カナダ日本人漁業史研究をめぐる展望と課題：近年における北米の成果を中心に」『立命館文學』(656): 121-135.



School District 70 (Alberni)

4690 Roger Street, Port Alberni, B.C. V9Y 3Z4 Ph: (250) 723-3565 Fax (250) 723-0318

FOR IMMEDIATE RELEASE

November 20, 2019

The Board of Education for School District 70 (Alberni) is considering a name change for the school district as well as for Ucluelet Secondary School and AW Neill Elementary School.

At a district level, Trustees understand that following amalgamation with SD79 (Ucluelet-Tofino) in 1970 the name “Alberni” has failed to capture the geographic diversity served by the district. Instead, it now seeks to find a district name that better represents our region yet retains a name recognition that will resonate locally, provincially, nationally and internationally. To this end, Trustees propose that SD70 (Alberni) become either **SD70 (Pacific Rim)** or **SD70 (Alberni-Pacific Rim)**.

At a school level, Ucluelet Secondary School serves students all along the West Coast. Currently, USS is in the early stages of seismic renovations and upgrades that will essentially result in a new secondary school, suggesting the time is right to consider a new school name that reflects its entire catchment area. Trustees propose that Ucluelet Secondary become either **Pacific Rim Secondary School** or **West Coast Secondary School**.

Finally, in the Alberni Valley, much discussion has taken place about the values and actions of A. W. Neill and whether or not AW Neill Elementary School should continue to bear this individual's name. Trustees propose that AW Neill Elementary become either **Compton Elementary School** or **Kitsuksis Elementary School**.

The names suggested above are in keeping with School District 70 Administrative Procedure 3290 which outlines the criteria and process by which schools are named and/or renamed. Generally, individual's names are avoided, with preference given to street names, geographic features, or regions associated with a catchment area.

The Board of Education will decide in the Spring of 2020 whether or not to make a name change or to retain current district and school names. In the meantime, Trustees want to hear your thoughts on the issue and have created **namechange@sd70.bc.ca** to receive your feedback. Let us know if you support the name change(s), which names you prefer or if you have an alternate name for consideration.

Yours truly,

Pam Craig
Board Chair
Board of Education for School District 70 (Alberni)



LGLA Leadership Forum Registration

Nov. 6, 2019

The Local Government Leadership Academy's 2020 Leadership Forum will be held Wednesday to Friday, February 5-7 in Richmond. This year's theme is: *Inclusive Leadership: Respectful, Collaborative, Engaged*. The Forum will provide elected officials with tools that strengthen relationships with colleagues, staff and the public and recognize the diversity of people and perspectives that make up BC communities.

The Forum is a great opportunity for delegates from all corners of BC to network, to learn from and to support each other. Forum participants can also obtain credits towards their LGLA certification.

The Forum is preceded by the UBCM *Electoral Area Directors Forum* from February 4-5. Both events take place at the Radisson Hotel Vancouver Airport in Richmond so that Electoral Area Directors may attend both events and save on travel costs.

Registration is \$350 per person and is available through CivicInfo. Accommodation is provided by Radisson Hotel Vancouver Airport. To book a room under the LGLA/UBCM block and receive a reduced room rate, please call the hotel's central reservations at 1-800-333-3333 or call the hotel directly at 604-279-8384 by January 6th, 2020. Guests can also reserve by email.

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- Twitter: @ubcm

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PROCEDURES AND TERMS OF REFERENCE

Old Growth Strategic Review

OLD GROWTH STRATEGIC REVIEW PANEL

On July 17, 2019, the Government of British Columbia announced that Garry Merkel and Al Gorley had been appointed to lead an Old Growth Strategic Review and provide a report to the Minister of Forests, Lands, Natural Resource Operations and Rural Development.

OVERVIEW

Old growth forests are important to British Columbians. They drive a significant portion of the forest industry, supply high quality products, and support forestry employment. They are attractive sites for tourism and recreation, and provide important habitats for wildlife. They are important for climate change mitigation. Old growth forests and trees are culturally and socially significant to Indigenous Peoples.

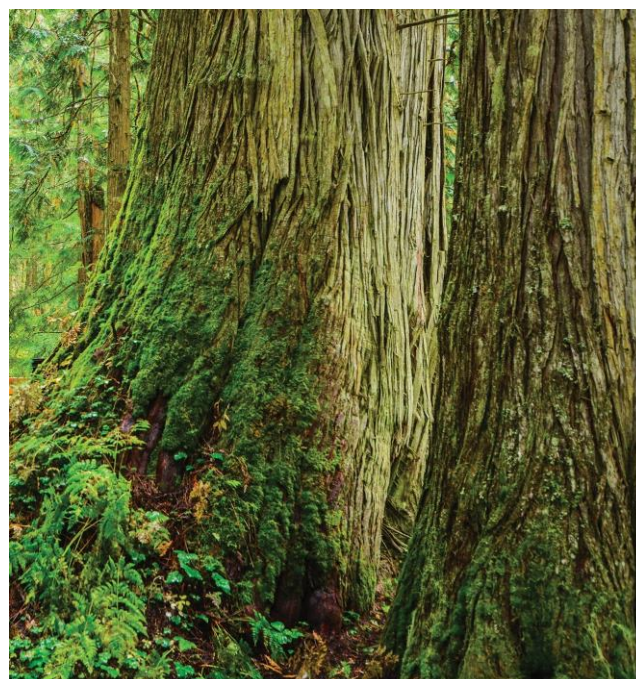
Merkel and Gorley will gather input by developing an online questionnaire, receiving written submissions, leading community engagement and meeting with key governments and organizations, including:

- Indigenous governments and communities
- Local governments and communities
- The forest industry
- The tourism and recreation industries
- Environmental non-government organizations
- Professional associations
- Professionals, academics and other experts
- Forest and resource stewardship organizations
- Stakeholder groups
- Members of the public

Merkel and Gorley will consider how other jurisdictions manage old growth forests.

Based on what they gather through engagement, Merkel and Gorley will develop a report to the Government to inform the development of broad public policy regarding old growth forests. The report will include a summary of what they heard.

Upon receiving the report, the Government will consider the recommendations and, through consultation, develop new policies and strategies for the management of old growth forests.



ENGAGEMENT PRINCIPLES

Balance

Examine old growth management from a variety of perspectives including employment, economic, social, cultural, environmental and climate change values. Considering all input, including potential tradeoffs and impacts amongst the various interests and values, will be a key element of deliberations and work.

Transparency

Make all information relating to the review available to the public, except for information that must be withheld to comply with privacy legislation.

Independence

Independently set direction on the processes, topics and approach for engaging with the public and drafting recommendations. To facilitate an effective process, the Government will provide assistance as requested.

First Nations Consultation

The B.C. Government will engage in Government-to-Government consultation with First Nations before setting policy direction in response to the report.

Open-mindedness

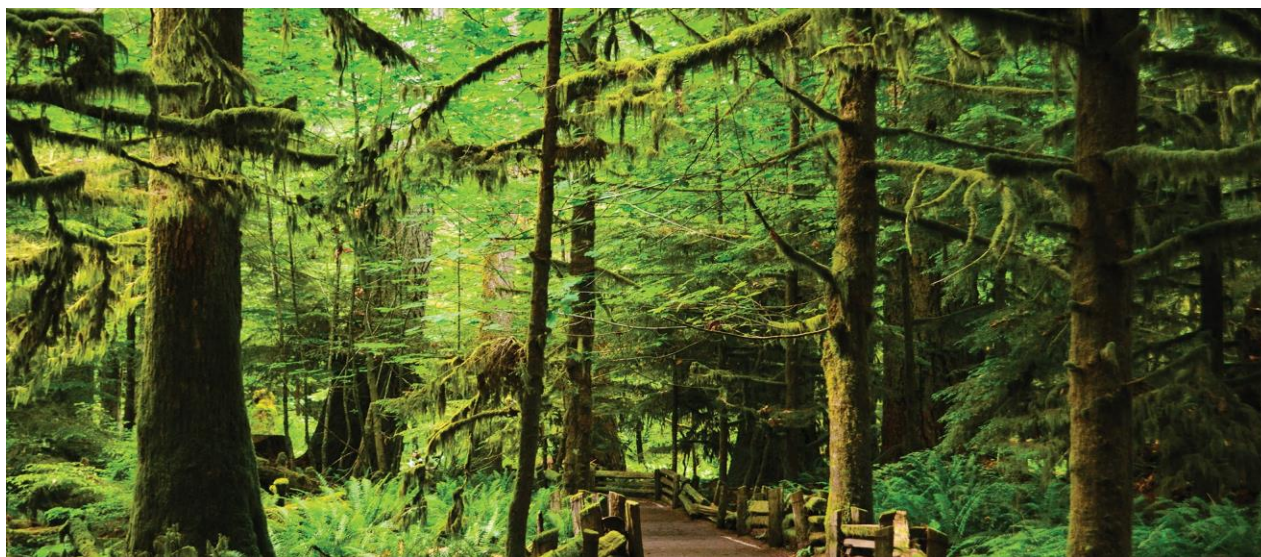
Maintain open minds with respect to who will provide input and how input is provided. Maintain a discipline of not pre-determining outcomes.

Inclusiveness

Provide every British Columbian with an opportunity to express their views, as almost all old growth forests are on public land.

TIMING

Merkel and Gorley will provide a final report to the Minister by April 30, 2020. The report will be released to the public within six months of its submission.



Ministry of
Forests, Lands, Natural
Resource Operations
and Rural Development

LEARN MORE ONLINE AT:
engage.gov.bc.ca/oldgrowth

Joseph Rotenberg

From: Joseph Rotenberg
Sent: November 21, 2019 11:18 AM
To: Joseph Rotenberg
Subject: RE: Public Engagement - Old Growth Forest Review

Mayor, Council and Staff have been invited by the City of Port Alberni to attend a Public Engagement Session regarding the Old Growth Strategic Review in Port Alberni at the following time and date:

Date: Thursday, January 16, 2020
Time: 4:30 – 6:30 pm
Location: ACRD Board Room

Sincerely,

Joseph Rotenberg



Joseph Rotenberg
Manager of
Corporate Services
Box 999, 200 Main Street
Ucluelet, B.C., V0R 3A0
Phone: 250-726-4772

Joseph Rotenberg

From: Joseph Rotenberg
Sent: November 21, 2019 2:48 PM
To: Joseph Rotenberg
Subject: RE: Zoning inquiry

From: Bernie & Jayne [REDACTED]
Sent: November 15, 2019 9:30 AM
To: Info Ucluelet <info@ucluelet.ca>
Cc: John Towgood <JTowgood@ucluelet.ca>
Subject: Fwd: Zoning inquiry

We are looking for advise on this matter.

Please copy to the appropriate department and if possible have this email added to the next council agenda.

Thank you,

Jayne

----- Forwarded Message -----

Subject:Zoning inquiry
Date:Thu, 7 Nov 2019 08:14:47 -0800
From:Bernie & Jayne [REDACTED]
To:info@ucluelet.ca

November 7, 2019

District of Ucluelet Municipal Council

Dear Mayor Noel and Councilors,

In July of this year we purchased two separately titled 1/2 duplexes that where built in 1981. Justin owns and resides at 1641 Holly Crescent and we own 1639 Holly Crescent and rent to long term tenants. Photo attached.

During the offer to purchase process we spoke with John Towgood - Planner 1 and discovered the current zoning(R1) does not coincide with the current use making the property legal non-conforming.

It seems originally the property was zoned duplex and the building was constructed in compliance with duplex zoning at the time. At some later date the zoning was changed (inadvertently) to R1 single family residence affecting the zoning for multiple properties in the neighbourhood.

We are asking Mayor and Council to consider approving a change of the zoning back to duplex for our properties.

If you require further information please contact us.

Sincerely,

Bernie, Jayne Stock

█ *Lennea Place*
Campbell River, BC

Justin Stock
█ *Holly Crescent*
Ucluelet, BC



Duplex - 1641 Holly Crescent and 1639 Holly Crescent



EMIL ANDERSON CONSTRUCTION (EAC) INC.

November 19th, 2019

**Re: Hwy 4 Kennedy Hill Safety
Improvements Traffic Interruptions
Update**

Dear Highway 4 travelers,

Attached is a revised copy of the November 17th, 2019 to December 14th, 2019 closure schedule. You can find a copy of the schedule on our *EAC Hwy 4 Kennedy Hill Project Updates* Facebook page at facebook.com/eac.bc.ca.kennedy.hill/

There is also a traffic advisory hotline which will provide detailed and up-to-date information to help plan your trip. The number is: **1-855-451-7152**.

Information will also be posted on electronic message boards at either ends of the project and along the Hwy 4 corridor between the west coast and Hwy 19 as well as information posted to DriveBC.ca. For your own safety, it is imperative you respect all construction signage, and stay well clear of any equipment.

We apologize for any inconveniences as a result of this project, but hope you understand that we are working towards a safer highway for all of us.

Further project information is available on the Ministry's project website at gov.bc.ca/highway4kennedyhill. Should you have any questions or concerns, you can leave a message on the traffic advisory hotline at 1 855 451-7152.

Sincerely,

EMIL ANDERSON CONSTRUCTION (EAC) INC.

Erin Pomeroy
EAC Project Coordinator



		Closed					Top of Hour Openings*	
		1am-4am	5am-7am	9am-11am	4pm-5pm	10pm-12am	9am-3pm	11am-3pm
Sun	Nov 17, 2019	X	X		X	X	X	
Mon	Nov 18, 2019	X	X	X	X	X		X
Tue	Nov 19, 2019	X	X	X	X	X		X
Wed	Nov 20, 2019	X	X	X	X	X		X
Thu	Nov 21, 2019	X	X	X	X	X		X
Fri	Nov 22, 2019	X	X					
Sat	Nov 23, 2019							
Sun	Nov 24, 2019							
Mon	Nov 25, 2019							
Tue	Nov 26, 2019			X	X	X		X
Wed	Nov 27, 2019	X	X	X	X	X		X
Thu	Nov 28, 2019	X	X	X	X	X		X
Fri	Nov 29, 2019	X	X		X	X	X	
Sat	Nov 30, 2019	X	X		X	X	X	
Sun	Dec 1, 2019	X	X		X	X	X	
Mon	Dec 2, 2019	X	X	X	X	X		X
Tue	Dec 3, 2019	X	X	X	X	X		X
Wed	Dec 4, 2019	X	X	X	X	X		X
Thu	Dec 5, 2019	X	X	X	X	X		X
Fri	Dec 6, 2019	X	X		X	X	X	
Sat	Dec 7, 2019	X	X					
Sun	Dec 8, 2019							
Mon	Dec 9, 2019							
Tue	Dec 10, 2019			X	X	X		X
Wed	Dec 11, 2019	X	X	X	X	X		X
Thu	Dec 12, 2019	X	X	X	X	X		X
Fri	Dec 13, 2019	X	X		X	X	X	
Sat	Dec 14, 2019	X	X		X	X	X	

Expect 30min delays and single-lane alternating traffic at all times above not marked by X.

*Traffic advised to arrive at the top of every hour for traffic openings (9am, 10am, 11am, etc).



STAFF REPORT TO COUNCIL

Council Meeting: NOVEMBER 26, 2019
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: DONNA MONTEITH, DIRECTOR OF FINANCE

FILE NO: 1700-02

SUBJECT: FIVE YEAR FINANCIAL PLAN MEETING SCHEDULE (2020-2024)

REPORT NO: 19-148

ATTACHMENT(S): APPENDIX A - FIVE YEAR FINANCIAL PLAN MEETING SCHEDULE (2020 – 2024)

RECOMMENDATION(S):

1. **THAT** Council approve the Five-Year Financial Plan Meeting Schedule for the years 2020 to 2024 as presented.

PURPOSE:

The purpose of this report is to seek approval from Council on the proposed meeting plan outline to complete the 2020 to 2024 Financial Plan (**Appendix A**).

BACKGROUND:

In accordance with Section 165 of the *Community Charter*, a municipality must have a financial plan that is adopted annually, by bylaw, before the annual property tax bylaw is adopted. The annual property tax bylaw must be adopted before May 15th each year.

The financial planning period is five (5) years and must set out the objectives and policies of the municipality in relation to each of the funding sources and the distribution of property tax values for each of the classes that are subject to tax, as well as permissive tax exemptions.

Further, under Section 166 of the *Community Charter*, a council must undertake a process of public consultation regarding the proposed financial plan before it the bylaw can be adopted.

TIME REQUIREMENTS – STAFF & ELECTED OFFICIALS:

The time requirements for holding special council meetings to discuss the 2020-2024 Financial Plan is attached as Appendix A.

OPTIONS REVIEW:

1. **THAT** Council approve the Five-Year Financial Plan Meeting Schedule for the years 2020 to 2024 as presented. (**Recommended**)
2. **THAT** Council provide alternative direction to staff.

Respectfully submitted: Donna Monteith, Director of Finance

APPENDIX A

District of Ucluelet Five-Year Financial Plan (2020 – 2024)

Meeting Schedule - DRAFT

December 12, 2019, Thursday, 2 – 5pm

- CFO PowerPoint Presentation - review of “Municipal Budgeting”.
- CAO Overview of department operations and staffing (in-camera).

January 23, 2020, Thursday, 2 – 5pm

- Report on District Operating Budgets:
 - ✓ General, Water & Sewer.
- Review of Projects by department:
 - ✓ Public Works.

February 20, 2020, Thursday, 2 – 5pm

- Review of Projects by department:
 - ✓ Planning & Development.
 - ✓ Parks & Recreation, Fire and Emergency Services.
 - ✓ Harbour, Corporate Services, Finance.

March 12, 2020, Thursday, 2 – 5pm

- Operating and Projects final review.

Draft Budget Complete

April 14, 2020, Tuesday, Regular Council Meeting

- Five Year Financial Plan Bylaw - 1st, 2nd Reading
- Tax Rates Bylaw - 1st, 2nd Reading

April 16, 2020, Thursday, 5pm – 8pm

- Public Presentation

April 28, 2020, Tuesday, Regular Council Meeting

- Five Year Financial Plan Bylaw – 3rd Reading
- Tax Rates Bylaw – 3rd Reading

May 12, 2020, Tuesday, Regular Council Meeting

- Five Year Financial Plan Bylaw – Adoption
- Tax Rates Bylaw - Adoption

NOTE: Bylaw’s MUST be adopted prior to May 15, 2020

All meetings are held in the George Fraser Room at the Ucluelet Community Centre



STAFF REPORT TO COUNCIL

Council Meeting: November 26, 2019
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: RICK GEDDES, FIRE CHIEF

FILE NO: 1855-20

REPORT NO: 19-149

SUBJECT: COMMUNITY EMERGENCY PREPAREDNESS FUND – UVFB AIR MANAGEMENT PROGRAM GRANT

ATTACHMENT(S): APPENDIX A – COMMUNITY EMERGENCY PREPAREDNESS FUND (CEPF) VOLUNTEER & COMPOSITE FIRE DEPARTMENTS EQUIPMENT & TRAINING GRANT APPLICATION AND UVFB AIR MANAGEMENT UPGRADE PROGRAM BUDGET

RECOMMENDATION(S):

1. **THAT** Council supports the activities outlined in the District of Ucluelet 2019 grant application to the UBCM Community Emergency Preparedness Fund Volunteer & Composite Fire Departments Equipment & Training Grant.
2. **THAT** Council will provide overall grant management if the District of Ucluelet is awarded the UBCM Community Emergency Preparedness Fund Volunteer & Composite Fire Departments Equipment & Training Grant.

PURPOSE/DESIRED OUTCOME:

The purpose of this report is to establish Council's support for the activities outlined in the UBCM grant application (**Appendix A**) and their willingness to provide overall grant management.

BACKGROUND:

The Ucluelet Volunteer Fire Brigade (UVFB) needs to upgrade their current aluminum self contained breathing apparatus (SCBA) bottles, to light-weight carbon fiber bottles. In addition, the UVFB is in need of new face masks to replace damaged and outdated gear, and to provide each member with their own personal air mask. The District of Ucluelet has already purchased a good used air bottle filling station as part of the UVFB Air Management Upgrade Program 2019. If the UBCM grant is awarded, the \$25,000.00 will be used to supplement the UVFB Air Management Upgrade Program.

By purchasing new carbon fibre SCBA bottles, the UVFB will be able to provide members with a lighter bottles to use during practices and actual fire events. The lighter bottles will reduce the overall weight of equipment used by members, which will increase firefighter safety at training and real-life incidents. Light-weight air bottles will also lead to a reduction in air consumption, as fire fighters will be carrying less weight. This will also allow firefighters to perform important tasks for a longer period of time. Having our own air bottle filling station will allow the UVFB to use air more often in training sessions. Traditionally, the use of SCBA during training has been limited as the UVFB has had to rely on an outside business to refill air bottles.

TIME REQUIREMENTS – STAFF & ELECTED OFFICIALS:

The grant application has been submitted to UBCM and is only awaiting this resolution of support and oversight.

FINANCIAL IMPACTS:

Administrative time was required for the grant application. Success in the grant application would provide \$25,000.00 towards the UVFB to supplement the UVFB Air Management Upgrade Program.

POLICY OR LEGISLATIVE IMPACTS:

While the UVFB's current inventory of SCBA bottles complies with all WorkSafe BC and CSA standards, our equipment is aging and is cumbersome by today's standards.

OPTIONS REVIEW:

1. **THAT** Council supports the activities outlined in the District of Ucluelet 2019 grant application to the UBCM Community Emergency Preparedness Fund Volunteer & Composite Fire Departments Equipment & Training Grant.
2. **THAT** Council will provide overall grant management if the District of Ucluelet is awarded the UBCM Community Emergency Preparedness Fund Volunteer & Composite Fire Departments Equipment & Training Grant.
3. **THAT** Council provide alternative direction to staff.

Respectfully submitted: RICK GEDDES, FIRE CHIEF



DISTRICT OF
UCLUELET

Ucluelet Volunteer Fire Brigade

Air Management Upgrade Program Budget 2019

Scott Carbon Fiber Air Bottles

12 new bottles X \$1400 (taxes included) **\$16,800.00**

Scott AV3000 Sure Seal SCBA Masks

12 new masks X \$680 (taxes included) **\$8,200.00**

Used Air Bottle Filling Station (purchased) **\$27,125.28**

Total Project Cost **\$52,125.28**

**Community Emergency Preparedness Fund
Volunteer & Composite Fire Departments
Equipment & Training
2019 Application Form (Updated October 2019)**

Please complete and return the application form by **November 15, 2019**. All questions are required to be answered by typing directly in this form. If you have any questions, contact cepf@ubcm.ca or (250) 387-4470.

SECTION 1: Applicant Information	AP <i>(for administrative use only)</i>
Name of Primary Applicant: District of Ucluelet	Date of Application: November 8 th , 2019
Contact Person*: Rick Geddes	Position: Fire Chief
Phone: 250-266-2254	E-mail: rgeddes@ucluelet.ca

* Contact person must be an authorized representative of the applicant.

SECTION 2: For <u>Regional Projects Only</u>
<p>1. Identification of Partnering Applicants. For all regional projects, please list all of the partnering applicants included in this application. Refer to Sections 2 and 3 in the Program & Application Guide for eligibility.</p> <p>N/A</p>
<p>2. Rationale for Regional Projects. Please provide a rationale for submitting a regional application and describe how this approach will support cost-efficiencies in the total grant request.</p> <p>N/A</p>

SECTION 3: Project Summary
<p>3. Name of the Project:</p> <p>Ucluelet Volunteer Fire Brigade Air Management Upgrade Program</p>
<p>4. Project Cost & Grant Request:</p> <p>Total Project Cost: \$52,125.28 Total Grant Request: \$25,000.00</p> <p><i>Updated September 2019</i> - Have you applied for, or received funding for, this project</p>

from other sources? If yes, please indicate the source and the amount of funding received or applied for.

No funding (other than monies from our operational budget) has been applied for or received for this project.

5. Project Summary. Provide a summary of your project in 150 words or less.

The Ucluelet Volunteer Fire Brigade is looking to upgrade their current aluminum self contained breathing apparatus (SCBA) bottles, to light-weight carbon fiber bottles. In addition, the Brigade is in need of new face masks to replace damaged and outdated gear, and to provide each member with their own personal air mask. The District of Ucluelet has already purchased an air bottle filling station. Currently the Ucluelet Volunteer Fire Brigade fills their station through a local business.

SECTION 4: Detailed Project Information

6. Requirement to be Volunteer or Composite Fire Department. Please list the name and location of each eligible fire department that is included in this application and describe the composition (volunteer or composite) of each.

Ucluelet Volunteer Fire Brigade

c/o The District of Ucluelet

PO Box 999 1520 Peninsula Rd. Ucluelet, BC V0R 3A0

The Brigade consists of one paid Fire Chief. The remainder of the Brigade is made up of volunteer members comprised of a Deputy Chief, three Captains, two Lieutenants and fifteen Firefighters.

7. Operating Budget(s).

- a. Please indicate the annual operating budgets of each fire department included in this application.

The 2019 Operating budget for the Ucluelet Volunteer Fire Brigade is \$278, 891.00.

- b. Describe the extent to which that budget enables each fire department to purchase essential equipment and/or provide training.

The above operational costs includes salaries and benefits for a full time Fire Chief. Of the total operational budget, \$12,000.00 has been allocated for personal protective equipment and gear. This money is allocated for bunker gear. \$8150.00 has been budgeted for equipment and supplies.

8. Proposed Activities. What specific activities will be undertaken as part of the proposed project? Refer to Sections 3 and 4 of the Program & Application Guide for eligibility. *Note: training is for fire department members only and not community members. All proposed training activities must include the name of course and the instructor and/or agency who will provide the training.*

Training activities utilizing the new SCBA equipment will be conducted.

9. Resiliency. Describe how the proposed project will build the resiliency of volunteer or composite fire departments in your community.

By purchasing new carbon fibre SCBA bottles, the UVFB will be able to provide members with a lighter bottle to use during practices and actual fire events. The lighter bottles will reduce the overall weight of equipment used by members, which will increase firefighter safety at training and real-life incidents. New light-weight air bottles will also lead to a reduction in air consumption, as fire fighters will be carrying less weight. This will also allow firefighters to perform important tasks for a longer period of time. Having our own air bottle filling station will allow the Brigade to use air more often in training sessions. Traditionally, the use of SCBA during training has been limited as the Brigade has had to rely on an outside business to refill our air bottles.

10. Mental Well-Being. Describe the extent to which proposed training will specifically address the mental wellbeing of eligible fire department staff and volunteers.

Having lighter air bottles and new SCBA masks will greatly impact the mental well being of members. Firefighters will experience less physical and mental stress having lighter carbon fibre bottles. With new masks, visibilty will also improve which will also reduce the mental strain experienced by Brigade members.

11. Transferability. Describe the extent to which the proposed project may offer transferable resources and supplies to other communities (e.g. trained staff and/or equipment that will be made available to other communities, training resources other communities will be invited to utilize, etc.).

The Ucluelet Volunteer Fire Brigade has mutual aid agreements with the District of Tofino, the Alberni - Clayoquot Regional District, Ucluelet First Nations and Pacific Rim National Park Reserve. During mutal aid training and actual fire events in Tofino, Ucluelet will be able to provide lighter and safer carbon fibre bottles to all members on the fire scence. Ucluelet Secondary School will be offering a Junior Firefighter program in September 2020. Students involved in the program will be able to use the lighter, safer bottles which will drastically reduce the possibility of injury.

12. Partnerships. Identify any other organizations or stakeholders you will collaborate with on the proposed project and specifically outline how you intend to work together.

There are no partnerships for this project although our firefighting equipment is often shared at mutual aid events.

13. Evaluation. How will the project be evaluated? How will performance measures and/or benchmarks be used to measure outcomes (e.g. tracking number of training events and exercises, external evaluators, etc.)?

The Ucluelet Volunteer Fire Brigade tracks weekly training events including SCBA use, Rapid Intervention Team training and air management use during practice and real events.

14. Additional Information. Please share any other information you think may help support your submission.

Currently the Ucluelet Volunteer Fire Brigade has relied on a local business to fill air bottles. At any given moment that service could cease as their filling system is very

outdated. Having a bottle filling station within the fire hall, in addition with new air bottles and face masks will dramatically increase opportunities to wear SCBA and conduct practices in a more realistic way.

SECTION 5: Required Application Materials

Only complete applications will be considered for funding. The following separate attachments are required to be submitted as part of the application.

All applicants are required to submit:

- Completed application form
- Detailed project budget

Local government, First Nation or improvement district applicants must submit:

- ^{pending} Council or Board resolution, Band Council Resolution or Treaty First Nation Resolution, or improvement district Trustee resolution indicating support for the current proposed activities and willingness to provide overall grant management

Regional project applicants are required to submit:

- Resolution or motion from each partnering applicant clearly stating their approval for the primary applicant to apply for, receive and manage the grant funding on their behalf

Legally incorporated society-run fire department applicants must submit:

- Board of Directors motion indicating support for the current proposed activities and willingness to provide overall grant management
- Current Certificate of Good Standing
- Up to 3 letters of support from local organizations or agencies (local government, Band office, Chamber of Commerce, etc.)

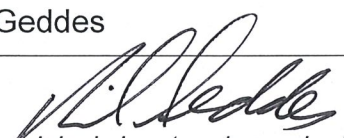
SECTION 6: Signature

I certify that: (1) to the best of my knowledge, all information is accurate and (2) the area covered by the proposed project is within our jurisdiction (or appropriate approvals are in place).

Name: Rick Geddes

Title: Fire Chief

Signature:



Date: 2019-11-12

An electronic or original signature is required.

Submit applications to:

Local Government Program Services, Union of BC Municipalities

E-mail: cepf@ubcm.ca

Mail: 525 Government Street, Victoria, BC, V8V 0A8



STAFF REPORT TO COUNCIL

Council Meeting: NOVEMBER 26, 2019
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: MARK BOYSEN, CHIEF ADMINISTRATIVE OFFICER

FILE NO: 2240-20 TU

SUBJECT: 2020 TOURISM UCLUELET TACTICAL PLAN

REPORT NO: 19-150

ATTACHMENT(S): APPENDIX A - TOURISM UCLUELET 2020 ONE-YEAR TACTICAL PLAN

RECOMMENDATION:

1. **THAT** Council approve Tourism Ucluelet's proposed One-Year Tactical Plan for 2020.

PURPOSE:

The purpose of this report is to request approval from Council for Tourism Ucluelet's proposed One-Year Tactical Plan for 2020.

BACKGROUND:

Under the *Provincial Sales Tax Act*, all designated recipients must report to the Province annually and are required to complete a One-Year Tactical Plan no later than November 30th each year. The 2020 Tactical Plan (attached) has been approved by the Tourism Ucluelet Board of Directors.

DISCUSSION:

Tourism Ucluelet continues to follow the 5-year plan set out during the renewal process, but this past spring the DMO undertook a multi-day strategic planning session to better understand how the organization could serve its function in a more authentic and responsible manner. The goal was to develop a new purpose statement with pillars that would align Tourism Ucluelet's mandate while remaining respectful to our community, stakeholders and continuing to promote an authentic experience to consumers who identify with the community values. A key change in the strategic approach of the plan is to develop new sustainable brand in tourism marketing efforts, a step that aligns with the sustainability goals of the District. The new strategy statement proposed is:

"By 2023 Tourism Ucluelet will lead Ucluelet's vibrant and sustainable tourism industry through industry collaboration, responsible and authentic promotion, visitor and community education, support for community priorities and accountability in our operations."

OPTIONS REVIEW:

1. **THAT** Council approve Tourism Ucluelet's proposed One-Year Tactical Plan for 2020.

Respectfully submitted:

Mark Boysen, Chief Administrative Officer

Appendix 2.3 One-Year Tactical Plan

Under the *Provincial Sales Tax Act*, all designated recipients, including designated recipients not subject to the renewal application requirement, must report to the Province annually. As such all designated recipients (or the designated recipient's service provider), are required to complete the following One-year Tactical Plan **no later than November 30th each year for years two through five**. If plans are available earlier, please submit as they become available. A Five-year Strategic Business Plan is required in year 1.

The One-year Tactical Plan must be consistent with the Five-year Strategic Business Plan and be based on the calendar year.

A sample Tactical Plan template has been provided below. However, the format of the Tactical Plan may be developed specific to your community needs and resources.

Similar to the Five-year Strategic Business Plan, the One-year Tactical Plan must adhere to the MRDT program principles (see box).

Please ensure there is alignment between provincial tourism strategies and community tourism efforts. Additionally, designated recipients should make their One-year Tactical Plans available to tourism industry stakeholders.

If you wish to make material modifications to the Five-year goals, strategies or targets, the changes must be identified in the One-year Tactical Plan and may require approval from the Province (see Section 11: Amendments in Program Requirements).

Your One-year Tactical Plan must contain the following information:

- An overview of the strategic direction from the Five-Year Strategic Business Plan
- Key learning and conclusions from the previous year
- Details about activities and tactics for the upcoming year
- Expected outcomes
- Availability of revenue from other sources to fund projects in addition to the funds from the tax (Reminder: funds from the tax must be incremental to existing sources of funding. The funds from the tax must not replace existing sources of tourism funding in a community)
- A proposed budget for the year ahead

For questions, please contact Destination British Columbia at MRDT@destinationbc.ca.

Quick Reference Guide

(from the MRDT Program Requirements):

- *The intention of the tax is to assist designated recipients to fund tourism marketing, programs and projects.*
- *Funds from the MRDT program are intended to augment current funding and cannot be used to replace existing sources of tourism funding in a community.*
- *The MRDT program is intended to contribute to the increase of local tourism revenue, visitation, and economic benefits and should be supported by local government and tourism stakeholders.*

The MRDT program principles are:

- *Effective tourism marketing, programs and projects*
- *Effective local-level stakeholder support, and inter-community collaboration*
- *Marketing efforts that are coordinated and complementary to provincial marketing strategies and tactics*
- *Fiscal prudence and accountability.*

2020 One-Year Tactical Plan

Designated Recipient: DISTRICT OF UCLUELET
Designated Accommodation Area: UCLUELET
Date Prepared: OCT 2019
MRDT Repeal Date: JUNE 2023
Five Year Period: 2018-2023

Section 1: Overview and Update to Five-year Strategic Context

Heading	Description
Strategic Direction	<p>Vision - <i>Ucluelet shares our environment, history, culture and heritage with visitors, while enhancing the lives of community members.</i> Our community's Official Community Plan envisions Ucluelet as: <i>an attractive, safe, healthy, friendly, vibrant, ecologically sound maritime community which is the all-season resort destination of choice for visitors.</i></p> <p>Mission - A visitor-tax funded destination marketing organization (DMO) that collectively builds a strong, genuine brand through focused marketing and sales efforts and industry collaborations.</p> <p><i>Tourism Ucluelet has 3 goals:</i></p> <ul style="list-style-type: none"> • Marketing & Promotional Activities • Visitor Services • Stakeholder Engagement & Organizational Governance <p>Marketing & Promotional Activities Marketing initiatives will focus on increasing length of stay and visitor yield while encouraging return visitation, with a focus on shoulder and off-season.</p> <p><i>Objectives:</i></p> <ul style="list-style-type: none"> • Increase in MRDT revenues by 3% annually • Increase occupancy rate in non-peak seasons (September 16 – June 14) as measured by participating accommodations • Increase average length of stay by one day, as measured by participating accommodations • Increase online and social engagement across all monitored channels by 5%. <p>Visitor Services Visitor service delivery will focus on increasing visitor touchpoints and encouraging increased length of stay, visitor yield and satisfaction.</p> <p><i>Objectives:</i></p> <ul style="list-style-type: none"> • Maintain relationship with Tofino and Parks Canada at Junction and downtown Visitor Centres • Generate revenue/pursue grants to ensure cost-recovery for visitor services by 2019 • Grow local and regional partnerships represented at visitor centres • Increase the number of visitor parties by 3% annually <p>Stakeholder Engagement & Organizational Governance As a Destination Management Organization, maintain strong stakeholder engagement while effectively governing the organization.</p>

	<p><i>Objectives:</i></p> <ul style="list-style-type: none"> • Leverage funds at a minimum of 5% of the MRDT collected over 5 years (~\$20,000 annually) • Succession planning documentation completed • Annual Stakeholder Survey score of 3.5/5 • Increased stakeholder engagement in marketing initiatives and corporate events • Increased collaboration on development of Resort Development Strategy with District of Ucluelet <p>Develop Tourism Ucluelet policy statements on key issues affecting local tourism industry</p>
Key Learnings and Conclusions	<ul style="list-style-type: none"> • Maintain the stress-free zone campaign. This has gained traction for Tourism Ucluelet and has become a recognizable billboard campaign that started in Nanoose Bay on Vancouver Island 2 years ago which has now diversified into promotional items and merchandise being sold at the Ucluelet Pacific Rim Visitor Centre, located at the junction between Ucluelet and Tofino. • Banner program finished in the spring of 2019. Tourism Ucluelet successfully collaborated with local artists whose art was selected, produced and put on display in Ucluelet. The program was implemented to celebrate the arts in the community and add a splash of colour during the winter months. The banners will be on sale (in poster form) at the Visitor Center as a revenue sharing program for the Visitor Center and the artists selected. • Discovery Guide was well distributed at travel shows and other visitor centres. It will be receiving an update in 2020 to expand with stories, itineraries and a more detailed map. This guide was also integrated on the website as a downloadable PDF. • Summer student program allowed Tourism Ucluelet to hire a Content Coordinator who was responsible for maintaining our Instagram with real-time stories while roaming around Ucluelet and helping visitors. The success of this position allowed the Executive Director to keep the staff person on in a part time capacity to continue collecting content for the Crowdriff stories pilot project and generating more video and photo assets for Tourism Ucluelet. • Photobooth project never came to fruition, due to the lack of staffing to maintain the project. For future, should this project resurface, the rental of one for the summer months will be the avenue taken.
Overall Goals, and Objectives	<p>Tourism Ucluelet continues to follow the 5-year plan set out during the renewal process, but this past spring the DMO undertook a multi-day strategic planning session to better understand how the organization could serve its function in a more authentic and responsible manner. The goal was to develop a new purpose statement with pillars that would align Tourism Ucluelet's mandate while remaining respectful to our community, stakeholders and continuing to promote an authentic experience to consumers who identify with the community values.</p> <p>The new strategy statement is, "By 2023 Tourism Ucluelet will lead Ucluelet's vibrant and sustainable tourism industry through industry collaboration, responsible and authentic promotion, visitor and community education, support for community priorities and accountability in our operations."</p> <p>Tourism Ucluelet will make the shift from destination awareness marketing to campaigns that resonate with like-minded consumers who will travel to the destination and identify with the values of Ucluelet through inspiring stories, messaging and images.</p> <p>By making these changes, the long-term goal is to ensure our community strives</p>

	<p>for balance, our surroundings remain as pristine as possible, while still welcoming growth and development.</p> <p>Tourism Ucluelet defined three pillars for success to achieve these goals:</p> <ol style="list-style-type: none"> 1. Foundation of Digital Success Seamless connect with consumers and expand the visibility of Ucluelet’s businesses and experiences while demonstrating an ROI. 2. Innovate on Responsible and Authentic Promotion Embody Ucluelet’s unique spirit and charm through innovative promotional campaigns that emphasize authentic and responsible experiences 3. Visitor and Community Education Tourism Ucluelet will also move forward to create a network of local and guest advocates who will amplify the Ucluelet message.
<p>Strategies</p>	<p>To achieve these goals, a firm will be hired to create a sustainable brand and communications plan that will assist in facilitating the brand shift and messaging. Digital, social and storytelling will be the primary focus of our new direction. All the while still producing visually appealing material to like-minded consumers that connect with preservation of the area and environmental stewardship. The ads and messaging will target eco-conscious high-yield consumers who are looking for genuine life-affirming experiences immersed in a pristine part of BC, exposed to nature, wildlife and culinary experiences.</p> <p>Tourism Ucluelet will also collaborate with the Ucluelet Chamber of Commerce to offer an Ambassador program that will provide training to front line staff sharing to tools to ensure that the new messaging of responsible consumer behaviour is being disseminated as visitors check in.</p> <p>Tourism Ucluelet will further work with organizations, the District of Ucluelet to ensure that similar messaging is sent to community members through newsletters offering insight to the new practices that the DMO, District and Chamber are aiming to achieve.</p>
<p>Target Markets</p>	<p>Ucluelet currently experiences a peak season between mid-May to mid October and non-peak season from late October to early May. On average visitors to the area stay longer than three nights. The marketing focus will be on the non-peak season (mid- October to the beginning of May) and extending the number of nights from two to three. The tactics will target the following visitors:</p> <p><u>Primary Geographic Target Markets</u></p> <ul style="list-style-type: none"> • Rubber tire markets of the lower mainland, Vancouver Island, Pacific Northwest USA and Calgary/Edmonton <p><u>Secondary Geographic Target Markets</u></p> <ul style="list-style-type: none"> • Rest of Canada, California and longer-haul markets in partnership with Tourism Vancouver Island and Destination BC <p><u>Primary Visitor Demographic – shoulder and off season</u></p> <ul style="list-style-type: none"> • Visitors who are eco-conscious and share the same values as the community • High yield consumers willing to travel to a remote area • Couples on weekend getaways – seeking relaxing retreat in nature • Active travellers, year-round – seeking extended stays and soft adventure • Young and active – prefer quality of experiences from accommodation, food to activities • Corporate and incentive, year-round • Weddings, retreats, small conferences

	<p><u>Secondary Visitor Demographic</u></p> <ul style="list-style-type: none"> Families, school holidays and summer – currently represents majority of peak season revenue for most Ucluelet operators <p><u>Explorer Quotient (EQ) Segments</u></p> <p>Tourism Ucluelet’s target visitors match the following EQ segments:</p> <ul style="list-style-type: none"> <i>Authentic Experiencers</i> are typically understated travellers looking for authentic, tangible engagement with destinations they seek, with an interest in understanding the history of the places they visit. <i>Free Spirits</i> are highly social and open-minded. Their enthusiasm for life extends to their outlook on travel. Experiential and adventurous, they indulge in high-end experiences that are shared with others. <i>Cultural Explorers</i> are defined by their love of constant travel and continuous opportunities to embrace, discover and immerse themselves in the culture, people and settings of the place they visit. Ucluelet’s wilderness, scenic beauty, rich history, wildlife viewing, Wild Pacific Trail and outdoor adventure opportunities and the local community’s desire to protect it matches with the Authentic Experiencers concern for the health of the planet and what it means to future generations. Free Spirits sense of sharing their adventures online while enjoying the finer aspects of the community provide ample reasons for these EQ segments to visit. Of the 10 most appealing activities for Canadian Authentic Explorers, Ucluelet offers several either in the destination or very close by: marine and land-based wildlife viewing, visiting small towns, visiting national parks, seeing beautiful coastlines and beaches, dining at restaurants offering local ingredients and visiting aquariums. <p><u>Overview of Visitors Experiences in Ucluelet</u></p> <ul style="list-style-type: none"> Touring & Exploring is identified as BC’s largest trip motivator. Visitors looking to tour and explore will find Ucluelet offers a welcome coastal retreat at the end of a cross-island journey through old-growth forests along a winding mountain highway Wilderness Comfort – Ucluelet remains rural, but welcomes guests with quality amenities found next to wild nature Outdoor Adventure – Ucluelet offers numerous options for those seeking active outdoor pursuits such as hiking along the Wild Pacific Trail, cycling along bike paths, fishing charters, kayaking and surfing, as well as exploring the nearby Pacific Rim National Park Reserve Ocean Coastline and Rainforests – a variety of coastal experiences that create return visitation and ideal images for sharing: Wild Pacific Trail, storm watching, relaxing getaways, pristine and raw natural surroundings Wildlife viewing – both marine (whales, marine mammals and birds) and land-based (bears, wolves, shorebirds) wildlife viewing is available. Ucluelet also has the original catch and release aquariums in Canada. This facility allows visitors
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	<p>to get up close and personal with marine life that is normally found off the coast of Ucluelet while learning from the staff through their interpretive programs.</p> <ul style="list-style-type: none"> ▪ Aboriginal Culture – Engage Yuułuꞵifꞵath - Ucluelet First Nation, the Yuułuꞵifꞵath Government and Yuułuꞵifꞵath - Ucluelet First Nation owned and operated businesses to ensure aboriginal tourism products and services are linked, showcased and future opportunities are collaborated upon • Arts – are always influenced by the natural surroundings. Painting, carvings, sculpture, crafts, photography; there are multiple galleries in town that offer a host of local one-of-a-kind work • Culinary – A variety of restaurants; cafes, bakeries, diners, distillery (opened early 2018), micro brewery (late fall 2019), casual and high-end restaurants, food trucks using local ingredients • Festivals & Events – Canadian Surf Nationals, Ukee Days, Edge to Edge Marathon, Arts Splash, Summer Festival, Cultural Heritage Festival, Canada Day, Sail Past, Midnight Madness (per-Christmas shop local initiative), Van Isle 360 (bi-annually), Soap Box Derby in the fall, monthly beach clean-ups with Surfrider Pacific Rim as well as guided interpretative walks facilitated by the Wild Pacific Trail Society. These festivals and events are unique with a local flare
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Section 2: One-Year Tactical Plan with Performance Measures

Major Category: Marketing

Activity Title: Measurable promotional initiatives that increase awareness of responsible tourism, length of stay and visitor yield while encouraging return visitation, with a focus on shoulder and off-season.

Tactics:

- Communications/Media Firm
- Digital and social media (Tourism Ucluelet not DiscoverUcluelet)
- User generated content
- discoverucluelet.com website
- Print advertising
- Expand Discovery Guide
- Travel media with Destination BC/Tourism Vancouver Island
- Travel Trade in collaboration with communities on Vancouver Island
- Broadcasting
- Billboard
- Ambassador Program
- Collaborating with organizations to help promote environmental stewardship

Implementation Plan:

Description: Conduct marketing initiatives that showcase authentic and life-affirming experiences while increasing consumer awareness of environmental stewardship, length of stay, visitor yield, and encouraging return visitation.

Quantifiable objectives:

- Increase in MRDT, Occupancy and Length of stay
- Increase online and social engagement across all monitored channels
- Development and implementation of a sustainable communication plan

Rationale: Tourism Ucluelet's mandate is to promote the destination in partnership with key stakeholders, while providing a seamless connection with consumers and expanding the visibility of Ucluelet's businesses as well as experiences while demonstrating an ROI.

Action Steps:

- Hire a Media/Communications firm to assist in developing a sustainable branding/communications plan and implementation
- Engage in Destination BC cooperative program opportunities where available (BC Fishing)
- Maintain discoverucluelet.com website
- Expand discoverucluelet.com website to include how to prepare for the west coast and mindful travel to Ucluelet, Events, Blogs and Media section
- Expand Ucluelet Discover Guide to include stories of local heroes/mavericks, itineraries, responsible travel suggestions and maps
- Highly targeted print advertising
- Video and radio
- Digital and social media
- travel media with Tourism Vancouver Island and Destination BC
- familiarization tours
- Stakeholder, consumer and Local newsletter program
- Travel trade consortia with Tourism Vancouver Island and Greater Destination Victoria
- Image/video bank enhancement in line with DBC brand standards – Content Coordinator to be hired. Will provide continual video and still image collection.
- Collaborate with TVI and DBC on Crowdriff stories Pilot Project
- Support to not-for-profits through marketing granting program and in-kind support for events and festivals that offer the opportunity to enhance the visitors experience while in Ucluelet

- Expand plan for weddings, conference and retreat market
- Coordinate and inventory businesses who already conduct themselves as environmental stewards
- Develop marketing materials for stakeholders with new messaging to share with travelers
- Monitor stakeholder and resident sentiment

Potential partnerships: Tourism Ucluelet stakeholders, Tourism Ucluelet Board of Directors, District of Ucluelet, Ucluelet Chamber of Commerce, Tourism Tofino, Parks Canada, Tourism Vancouver Island, Surfrider Foundation Pacific Rim, Destination BC, Ucluelet Aquarium, Wild Pacific Trail, Thornton Creek Hatchery

Resources: Budget and Tourism Ucluelet staff

Sources of funding: MRDT funding, partner funding

Responsibilities: Tourism Ucluelet staff

Timeframe: will roll out over the course of 2020

Co-op advertising (Print & Online)

- WestJet Magazine and Connect (in-flight) (early spring and late fall)
- Westerly News (Black Press) (Dining guide – throughout the year)
- Vancouver Island Exploring Map (annual)
- Destination BC cooperative marketing program – BC Fishing (early spring)

Website

- Maintain with new content around responsible travel
- New itineraries
- Continual updates with new and pre-existing stakeholders
- Online marketing and Google ad words

Social Media & Digital advertising

- Ongoing content creation and hosted influencer participation on Facebook, Instagram, Twitter, YouTube
- Crowdriff and DBC Stories Pilot Project
- On This Spot Digital Historical Walking App
- Consumer E-Newsletters

Media Relations

- FAM support as requested, in partnership with Destination BC/Tourism Vancouver Island
- Story development, media outreach, itinerary development, hosting and fact checking – ongoing
- Ucluelet is too small on its own to attend Media Trade Shows. Support Tourism Vancouver Island staff to attend Canada's West Market Place and Rendezvous
- Travel Trade consortia with Victoria and Tourism Vancouver Island

Print materials and racking

- Update Ucluelet Discovery Guide (summer)
- Tear Off map with updated membership listing (summer)

Sustainable Brand & Communications Plan

- Firm to be hired to help develop a long-term plan
- Focus around authentic and responsible travel
- Increase word of mouth referrals to Ucluelet
- Strategy to target like minded value-based travelers to the area
- Work with local societies who focus on environmental stewardship to assist with language to educate visitors on how to be a responsible traveler.

Budget: \$383,400

Evaluation mechanism: Google Analytics, Facebook manager, community and stakeholder survey,

individual predetermined seasonal campaign metric, Tourism Sentiment Index, STR Report (Occupancy and average daily rates), EV station data collection, waste management reports, Reporting from Wildlife organizations (the Hatchery) to determine improvement in visitor behaviour

Performance Measures:

(Stakeholder interests/engagement due to perceived success of campaigns)

Output Measures:

- Types of marketing activities
- Number of event campaigns and results
- Description of social media activities and outcomes
- Stakeholder engagement for campaigns
- Number of media placements
- Webpage visits
- Visitor inquiries/calls
- surveys

Outcome Measures:

- MRDT revenues
- Occupancy rate in shoulder seasons, as measured by participating accommodations
- Average length of stay, as measured by participating accommodations
- Social media engagement
- Email program – number of subscribers
- Ads performance measurements
- Conversion and CTR rates
- Marketing initiative tracking (calls to action) from cooperative marketing activities
- EV station data
- Waste management reports
- Positive behaviour shifts at key attractions

Major Category: Visitor Services

Activity Title: Increasing visitor touchpoints and encouraging responsible travel while in the area, increased length of stay, visitor yield and satisfaction.

Tactics:

- Maintain primary visitor services at junction – Pacific Rim Visitor Centre, in partnership with Parks Canada, Ucluelet and Tofino stakeholders as well as the downtown seasonal office
- Apply for federal summer employment funding
- Train up to 6 visitor centre summer students and staff
- Launch roaming visitor services staff to be out in key areas to assist visitors, and at selected events, in partnership with District of Ucluelet
- Initiate minor leasehold improvements/upgrades at visitor centre(s)
- Revenue plans – increase stakeholder engagement within Ucluelet and surrounding communities with dynamic marketing packages, maintain desirable merchandise on site, continue applying for DBC visitor services and Canada summer jobs grants, engage neighbouring DMOs for support that directly benefit from the Pacific Rim Visitor Centre

Implementation Plan

Description: Plan for roaming staff at key iconic locations throughout Ucluelet while continuing to deliver existing visitor servicing out of current locations.

Quantifiable objectives:

- Maintain relationship with Ucluelet and Tofino stakeholders as well as Parks Canada at the Pacific Rim Visitor Centre and downtown Visitor Centre
- Generate revenue/pursue grants to work toward goal of cost-recovery by 2020
- Grow local and regional partnerships represented at visitor centres
- Increase the number of visitor parties by 3% annually

Visitor Services Goals

Tourism Ucluelet’s primary goal is to have visitors stay longer, experience new and exciting products our businesses have to offer and ensure visitors leave having a life-affirming experience while on the west coast. The visitor centre plays a vital role in welcoming visitors to the west coast and providing them with accurate information to enhance their vacation, as well as, insight on how to be a responsible traveler. This requires Tourism Ucluelet to be innovative in its approach to providing the best possible service to our guests.

Ucluelet is fortunate to have multiple locations through out town that could warrant a more sophisticated mobile building, trailer or vehicle to provide, roaming services not only by the Amphitrite lighthouse, but also by the Aquarium and at events.

The current plan will utilize a tent as a pop-up centre by the lighthouse in partnership with the Wild Pacific Trail Society and offer visitor services at one of the trail heads. Staff will be equipped with digital devices to find information and dressed in “Ask Me” branded vests so visitors know that the staff are part of Tourism Ucluelet.

The downtown office received a small refresh in the spring of 2019 in preparation for the summer season. The office turned into a small pop-up museum with local Indigenous and Japanese artifacts, items that represented our fishing and logging heritage as well as original books from George Fraser a world-renowned horticulturalist who created a hybrid Rhododendron to survive on the west coast of Vancouver Island. A digital historical walking tour was created by a company called On This Spot to assist with expanding our historical representation of the town.

Action Steps:

- Maintain visitor services at junction, in partnership with Parks Canada and downtown seasonal office. The Junction centre is open all year round except for Christmas and New Years Day. Hours vary depending on season. Parks Canada leaves the junction after Thanksgiving weekend and does not return until the beginning of May annually. The Downtown Visitor centre is open seasonally, typically from mid- June until mid-September. This building is also the Administrative office for the Executive Director.
- Apply for federal summer employment
- Train up to 6 visitor centre summer students and staff
- Launch mobile visitor centre at lighthouse, and selected events, in partnership with District of Ucluelet and Wild Pacific Trail Society
- Initiate additional minor leasehold improvements/upgrades at visitor centre(s)
- Ensure historical walking tour is on website and visible at the centres
- Update suggested itineraries for guest and have on hand for reference
- Have information on hand for mindful travel

Potential partnerships: Parks Canada, Tourism Ucluelet stakeholders, District of Ucluelet, Ucluelet Chamber of Commerce, Wild Pacific Trail Society, Ucluelet Historical Society and the George Fraser Society

Resources: Budget and Tourism Ucluelet staff

Sources of funding: MRDT funding, partner funding

Responsibilities: Tourism Ucluelet staff

Timeframe:
Visitor Centres

- Pacific Rim Visitor Centre at the Junction between Ucluelet and Tofino; open all year round
- Mid June opening of downtown centre
- March – Pacific Rim Whale Festival, Spring Break and Art Splash
- April – Surf Nationals,
- Spring - Cultural Heritage Festival
- July – Canada Day Celebrations, Ukee Days, Summer Festival
- October - Edge to Edge Marathon
- December – Aquarium Release day, Sail Past

Visitor Centre staffing

- January/February – federal grant application due
- May/June – training of staff

Budget: \$156,600

Evaluation mechanism: Visitor Centre statistics, local/regional partnerships represented at the centres

Performance Measures:
Output Measures:

- Visitor inquiries/calls
- Roaming staff

Outcome Measures:

- Monthly Visitor numbers
- Number of engagements by roaming staff
- Number of local/regional partnerships represented at centres
- MRDT revenues
- Increase average length of stay through occupancy rate in shoulder seasons as measured by participating accommodations
- CTR on apps and information through the website

Major Category: Stakeholder & Community Engagement, as well as Organizational Governance

Activity Title: Maintaining strong community and stakeholder engagement while effectively governing the organization.

Tactics:

- Participate with organizations who have developed environmental stewardship programs
- Complete MRDT reporting requirements (April & November)
- Participate in Destination BC cooperative programs to leverage marketing dollars (BC Fishing campaign)
- Engage Yuułuʔiłʔatḥ - Ucluelet First Nation, the Yuułuʔiłʔatḥ Government and Yuułuʔiłʔatḥ - Ucluelet First Nation owned and operated businesses to ensure aboriginal tourism products and services are linked, showcased and future opportunities are collaborated upon
- Maintain regular communications with tourism business stakeholders:
- Maintain regular communications with District of Ucluelet
- Maintain regular communications with Ucluelet Chamber of Commerce
- Create open dialog with locals and develop advocates/ambassadors
- Develop Tourism Ucluelet policy statements
- Attend professional development programs to ensure, Board of Directors and staff are up to date on responsibilities to the Organization
- Maintain active membership with provincial advocacy efforts – Tourism Industry Association of BC (TIABC) and BC Destination Marketing Organization Association (BCDMOA) and attend AGMs, conferences, etc.
- Attend Tourism Vancouver Island Leadership Council meetings

Implementation Plan

Description: Maintain, enhance and cultivate new relationships with stakeholders, community members and leaders, organizations, First Nations and other industry partners to increase partner engagement, improve the understanding of the DMO role and effectively govern the organization.

Quantifiable objectives:

- Leverage funds at a minimum of 10% of the MRDT collected over 5 years (~\$7800)
- Succession planning documentation completed by end of 2020
- Increased community engagement to share the same message to consumers; how to be a responsible traveler while on the west coast (ie the Hatchery and bear interaction)
- Increased stakeholder engagement in marketing initiatives and corporate events
- Increased collaboration on *Resort Development Strategy* with District of Ucluelet
- Develop Tourism Ucluelet policy statements on key issues affecting local tourism industry

Rationale: Tourism Ucluelet will be expanding its staff to assist in the implementation of additional projects and our new sustainable communication plan. Ucluelet is in a unique position to educate our visitors on best practices when coming to the west coast, but in order to do this effectively, there needs to be one message shared by the local community members and businesses. Further collaboration with the District of Ucluelet and the Ucluelet Chamber of Commerce ensure this message is reached to all facets of the community.

Action Steps:

- Complete MRDT reporting requirements (April & November)
- Participate in Destination BC cooperative programs leverage marketing dollars (Fishing BC)
- Engage Yuułuʔiłʔatḥ - Ucluelet First Nation, the Yuułuʔiłʔatḥ Government and Yuułuʔiłʔatḥ - Ucluelet First Nation owned and operated businesses to ensure aboriginal tourism products and services are linked and showcased as well as future opportunities are collaborated upon
- Provide stakeholder support to Remarkable Experiences program when in area
- Hold an open house for community to learn more about Tourism Ucluelet and its goals

- Maintain regular communications with tourism business stakeholders:
 - send monthly stakeholder e-update
 - maintain stakeholder section of website (www.discoverucluelet.com/stakeholders)
 - send annual stakeholder survey
 - share best practice resources designed for tourism business (e.g. [Tourism Business Essentials](#) guides)
 - encourage stakeholders to promote, share, link to Tourism Ucluelet marketing materials from their marketing platforms
 - send annual report to community

- Maintain regular communications with District of Ucluelet:
 - maintain District representation on Tourism Ucluelet board
 - bi-annual Tourism Updates to Mayor and Council
 - attend bi-annual Societies meeting with District, Mayor and Council as well as all other Societies in Ucluelet

- Maintain regular communications with Ucluelet Chamber of Commerce
 - Maintain Chamber representative on Tourism Ucluelet board
 - Maintain stakeholder support and unification on subjects that impact the tourism business community
- Maintain active membership with provincial advocacy efforts – Tourism Industry Association of BC (TIABC) and BC Destination Marketing Organization Association (BCDMOA) and attend AGMs, conferences, etc.

Potential partnerships: Tourism Ucluelet stakeholders, District of Ucluelet, Ucluelet Chamber of Commerce, Parks Canada, societies in Ucluelet that have like-minded approaches to environmental stewardship

Resources: Budget and Tourism Ucluelet staff

Sources of funding: MRDT funding, partner funding

Responsibilities: Tourism Ucluelet staff

Timeframe:

MRDT reporting requirements

- April – annual report
- November – tactical plan

Destination BC cooperative programs

Tourism Ucluelet is not the lead on our consortium partnerships. Due to the remoteness of our location and the group Tourism Ucluelet partners with, any new plans are usually discussed via conference call in advance of the application being submitted. Once the application is approved, all work is done via conference call and email.

Stakeholder communications

- Monthly stakeholder e-update
- Updates to stakeholder section as required, including copies of monthly e-update
- Annual Stakeholder survey
- Annual Open house for local community members

District of Ucluelet communications

- Spring – update to District of Ucluelet council
- Fall – update to District of Ucluelet council
- Monthly board meetings attended by District representative

Tourism Industry Association of BC events

- February - [BC Tourism Industry Conference](#) and BCDMOA annual meeting
- Fall – TIABC AGM and BCDMOA meeting

Budget: \$792,200 (this does not include the Affordable Housing OAP contributions)

Evaluation mechanism: Stakeholder Survey development; stakeholder engagement in Tourism Ucluelet initiatives; open rate of stakeholder e-update, community attendance at annual open house

Section 3: MRDT Budget for One-Year Tactical Plan

Designated recipients **must** complete the budget table as provided below.

Revenues		Budget \$
Carry-forward from previous calendar year		300,000
MRDT		384,000
MRDT from online accommodation platforms		100,000
	MRDT Subtotal	784,000
Local government contribution		0
Stakeholder contributions (i.e. membership dues)		25,000
Co-op funds received (e.g. DBC Coop; DMO-led projects)		0
Grants – Federal		19,000
Grants – Provincial		25,000
Grants/Fee for Service - Municipal		0
Retail Sales		25,000
Interest		5,200
Other		9,000
	Total Revenues	892,200
Expenses		Budget \$
Marketing		
Marketing staff – wage and benefits		118,800
Media advertising and production		73,100
Website - hosting, development, maintenance		15,000
Social media		60,000
Consumer Shows, events		10,000
Collateral production, and distribution		36,500
Travel media relations		30,000
Travel trade		5,000
Consumer-focused asset development (imagery, video, written content)		35,000
	Subtotal	383,400
Destination & Product Experience Management		
Destination & Product Experience Management Staff – wage and benefits		20,000
Industry development and training		12,000
Product experience enhancement and training		5,000
Research, evaluation and analytics		18,000
Other (please describe)		
	Subtotal	55,000
Visitor Services		
Visitor Services activities		156,600
Other (please describe)		
	Subtotal	156,600
Meetings Conventions, Events & Sport		
Meetings, conventions, conferences, events, sport, grant programs, etc.		50,000
	Subtotal	50,000
Administration		
Management and staff unrelated to program implementation – wages and		42,000
Finance contract		17,000
Human Resources staff – wages and benefits		0
Board of Directors costs		0
Information technology costs – workstation-related costs (i.e. computers, telephone, support, networks)		12,500

Office lease/rent	10,000
General office expenses	35,700
Travel	15,000
Subtotal	132,200
Expenses	
Affordable Housing	
General MRDT revenues	0
Revenues from online accommodation platforms	100,000
Subtotal	100,000
Other	
All other wages and benefits not included above	0
Other activities not included above (please describe) professional development for Staff and BOD	15,000
Subtotal	15,000
Total Expenses:	892,200
Balance or Carry Forward	0

Projected spend by market (*broad estimate*) for leisure activities only & projected percentage of spend focused on each season (*broad estimate*) Add more rows as needed.

Geographic Market	Total Marketing Budget by Market	% of Total \$ by Market	% of Total \$ for (Jan-Mar) season	% of Total \$ for (Apr – June) season	% of Total \$ for (July – Sept) season	% of Total \$ for (Oct-Dec) season	% total
BC	249,210	65	35	30		35	100%
Alberta	95,850	25	25	30		35	100%
Washington State	38,340	10	25	30		35	100%
Total	383,400	100%					



STAFF REPORT TO COUNCIL

Council Meeting: NOVEMBER 26, 2019
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

FILE NO: 0550-20

SUBJECT: RESOLUTION TRACKING –NOVEMBER 2019

REPORT NO: 19- 151

ATTACHMENT(S): APPENDIX A: RESOLUTION TRACKING (UP TO DATE AS OF MID-NOVEMBER 2019)

RECOMMENDATION(S):

There is no recommendation. This report is provided for information only.

PURPOSE:

The purpose of this report is to provide Council with a monthly status update on resolutions that have been adopted by Council.

BACKGROUND:

The resolution follow-up status categories are:

- Assigned – action has not yet commenced;
- In Progress – action has been taken by staff; and
- Complete – action has been completed.

Items will be removed from the list after actions are shown once as being completed.

OPTIONS REVIEW:

1. There is no recommendation. This report is provided for information only. **(Recommended)**
2. **THAT** Council provide alternative direction to staff.

Respectfully submitted:

Joseph Rotenberg, Manager of Corporate Services
Mark Boysen, Chief Administrative Officer

Meeting	Date	Agenda Item #	Meeting Item Description	Resolution Text	Description	Department Responsible	Follow-Up Status
Regular Council	25-Sep-18	11.3.	Lease with Ucluelet & Area Historical Society Abigail Fortune, Director of Parks & Recreation	THAT Council approve recommendation 1 of report item, "Lease With Ucluelet & Area Historical Society", which states: THAT Council enter into a lease agreement with the Ucluelet and Area Historical Society that is similar to their original Provincial Lease #11128 – Block A District Lot 1507, Clayoquot Land District for approximately 2.4 hectares.	Meet with UAHS looking at options. UAHS to get back to Ms Fortune to confirm the direction they would like to proceed.	Parks & Recreation	In Progress: received license draft from Lawyer for review, November 15.
Regular Council	25-Sep-18	11.5.	Ucluelet Economic Development Strategy Progress Report Mark Boysen, Chief Administrative Officer	THAT Council approve the use of allocated Economic Development funds to support the following projects: a. Ucluelet Economic Development Web Tools Project (\$10,000). Deadline Nov 2019.	Work with Chamber on Web Tools development project.	Corporate Services	Complete
Regular Council	11-Dec-18	12.2.	2019 Council Meeting Schedule Marlene Lagoa, Deputy Municipal Clerk	THAT Council direct staff to update the District of Ucluelet Council Procedures Bylaw No. 1166, 2014 to reflect the new meeting schedule.	Update Council Procedures Bylaw.	Corporate Services	In Progress
Regular Council	14-May-19	13.4.	Zoning Amendment, Housing Agreement & DUP (354 Forbes Road) Marlene Lagoa, Manager of Corporate Services	THAT Council, with regard to the proposal to renovate the building on Lot 17, District Lot 281, Clayoquot District, Plan VIP76147 (354 Forbes Road) and request for zoning amendments to permit commercial tourist accommodation on the property: give third reading to the "District of Ucluelet Zoning Bylaw Amendment Bylaw No. 1244, 2019"; give third reading to the "Ucluelet Housing Agreement Bylaw No. 1249, 2019"; and issue Development Variance Permit DVP19-03	Bring Bylaw No. 1248 & No. 1249 for adoption, once all subject to conditions being met	Community Planning	In Progress
Regular Council	11-Jun-19	12.4.	District Community Engagement Update Mark Boysen, Chief Administrative Officer	THAT Council approve recommendation 1 of report item, "District Community Engagement Update" which states: THAT Council request staff plan a Community Town Hall with a focus on engagement for the Fall of 2019;	Plan Community Town Hall for early November	Corporate Services	In Progress
Special Council	18-Sep-19	12.4.	Bylaw No. 1255, 2019, Zoning Amendment for Cannabis Sales at 1972 Peninsula Rd. - 3rd Reading Bruce Greig, Manager of Community Planning	THAT Council approve recommendation 1 of the report item, "Bylaw No. 1255, 2019, Zoning Amendment for Cannabis Sales at 1972 Peninsula Rd. - 3rd Reading" which states: THAT the "District of Ucluelet Zoning Amendment Bylaw No. 1255, 2019" be referred to a second public hearing, subject to the applicant providing the public hearing and notification fees.	Conduct public hearing and bring back for third reading.	Planning	Complete
Regular Council	13-Aug-19	12.8.	Covenant Modification - 780 Odyssey Lane John Towgood, Planner 1	THAT Council approve recommendation 1 of the report item, "Covenant Modification - 780 Odyssey Lane" which states: THAT Council approve the proposed amendment of Covenant FB154854 for the property at 780 Odyssey Lane, to modify the greenspace setback requirement as per the terms and drawings within the body of this report; and, authorize the Corporate Officer to execute the covenant modification documents for registration at the Land Title Office.	Execute covenant modification and forward to property owner.	Administration	Complete
Regular Council	08-Oct-19	14.1.	Proposed Rezoning, Subdivision, and Development Permits for 221 Minato Road (Lot B, District Lot 286, Clayoquot District, Plan VIP79908)	THAT Council approve recommendation 2 of the report item, "Proposed Rezoning, Subdivision, and Development Permits for 221 Minato Road (Lot B, District Lot 286, Clayoquot District, Plan VIP79908)" which states: 2. THAT Council: a. indicate support for the updated proposal including an offer of a \$10,000 contribution to the District of Ucluelet for adding fencing, interpretive signs and protective barriers at trail ends to protect adjacent marine shoreline habitat; b. give the District of Ucluelet Zoning Amendment Bylaw No. 1244, 2019 First and Second reading; and, c. direct staff to prepare the necessary permits, covenants and agreements and present them to Council prior to Bylaw No. 1244 proceeding to a public hearing.	Staff to prepare the necessary permits, covenants and agreements and present them to Council prior to Bylaw No. 1244 proceeding to a public hearing.	Planning	In Progress
Regular Council	08-Oct-19	14.2.	NOTICE OF MOTION	THAT Staff provide notice and prepare for a Cannabis Open House for the public, prior to the Public Hearing.	Staff to provide notice and prepare for Cannabis Public Hearing.	Administration	Complete
Regular Council	08-Oct-19	14.3.	Zoning Amendment for Cannabis Sales at 1685 Peninsula Road	THAT Council approve recommendation 1 of the report item, "Zoning Amendment for Cannabis Sales at 1685 Peninsula Road" which states: THAT District of Ucluelet Zoning Amendment Bylaw No. 1257, 2019, be given First and Second Reading and advanced to a public hearing.	Staff to provide notice and prepare for Public Hearing.	Administration	Complete
Regular Council	22-Oct-19	10.2.	Community Child Care Space Creation Program and Community Child Care Planning Grant Application	THAT Council directs Staff to apply for the Community Child Care Planning Grant Program that is due January 31, 2020.	Staff to apply for the Community Child Care Planning Grant Program that is due January 31, 2020.	Recreation	In Progress
Regular Council	22-Oct-19	13.3.	Halloween Howl Road Closure & Community Invite Abigail Fortune, Manager of Parks and Recreation	THAT Council approve recommendations 1 and 2 of the report item, "Remembrance Day Road Closure" which state: THAT Council supports the closure of Peninsula Road in front of the Army Navy & Air Force Veterans Club cenotaph at 1708 Peninsular Road on Monday, November 11, 2019, from 10:30 – 11:30 AM. THAT Council direct Staff to follow-up with the Ministry of Transportation to obtain authorization for the road closure.	Staff to follow-up with the Ministry of Transportation to obtain authorization for the road closure.	Recreation	Complete
Regular Council	22-Oct-19	14.1.	Zoning Bylaw Amendment for 2100 Peninsula Road John Towgood, Planner 1	THAT Council approve recommendation 1 of the report item, "Zoning Bylaw Amendment for 2100 Peninsula Road" which states: THAT District of Ucluelet Zoning Amendment Bylaw No. 1258, 2019, be given first and second reading and advanced to a public hearing.	District of Ucluelet Zoning Amendment Bylaw No. 1258, 2019, be given first and second reading and advanced to a public hearing.	Planning	In Progress
Regular Council	12-Nov-19	6.1.	October 22, 2019 Regular Minutes	THAT Council approve the October 22, 2019 Regular Minutes as presented.	Print, sign, scan, upload, file.	Administration	Complete
Regular Council	12-Nov-19	10.1.	Appointments to the 2020 Vancouver Island Regional Library Board Marlah Patterson, Executive Assistant, Vancouver Island Regional Library	THAT Council appoint Councillor McEwen as Trustee and Councillor Hoar as alternate to the 2020 Vancouver Island Regional Library Board.	Staff to complete paperwork and submit to Vancouver Island Regional Library Board for Councillors McEwen (Trustee) and Hoar (Alternate) by December 15.	Administration	In Progress
Regular Council	12-Nov-19	10.2.	Surf Canada Request for Letter of Support Dom Domic, Executive Director, CSA Surf Canada	THAT Council directs Staff to provide a letter of support for Surf Canada's special events application.	Staff to provide a letter of support to Surf Canada for their special events application.	Administration	Complete
Regular Council	12-Nov-19	10.3.	LGLA Leadership Forum Registration UBCM	THAT Council moved that Councillor McEwen and Councillor Cole will attend the LGLA Leadership forum in February 2020.	Staff to do the necessary preparations for Councillors McEwen and Cole to attend the LGLA Leadership forum.	Administration	Complete
Regular Council	12-Nov-19	13.3.	Council Meeting Schedule 2020 Joseph Rotenberg, Manager of Corporate Services	THAT Council approves recommendation 1 of the report item "2020 Council Meeting Schedule" which states: THAT Council adopt the proposed 2020 Council Meeting Schedule as presented.	Print, sign, scan and post by second week of December.	Administration	Assigned
Regular Council	12-Nov-19	13.3.	Council Meeting Schedule 2020 Joseph Rotenberg, Manager of Corporate Services	THAT Council approves recommendation 2 of the report item "2020 Council Meeting Schedule" which states: 2. THAT Council direct staff to give notice of the 2020 Council Meeting Schedule in accordance with the Community Charter.	Staff to give notice of the 2020 Council Meeting Schedule in accordance with the Community Charter (Newspaper for first two weeks of December, public notice board, website, we will also do facebook)	Administration	Assigned
Regular Council	12-Nov-19	13.4.	Grants In Aid & In-Kind Contributions Policy Donna Monteith, Chief Financial Officer	THAT Council approve recommendation 2 of the report item "Grants in Aid & In-Kind Contributions Policy Report" which states: 2. THAT Council repeal Policy Number 5-1950-1, Grants in Aid	Update the policy index / post on line	Administration	Assigned
Regular Council	12-Nov-19	13.4.	Grants In Aid & In-Kind Contributions Policy Donna Monteith, Chief Financial Officer	THAT Council approve recommendation 1 of the report item "Grants in Aid & In-Kind Contributions Policy Report" which states: 1. THAT Council adopt Policy Number 5-1950-2, Grants in Aid & In-Kind Contributions.	Print, sign, scan, file, post on DOU Website and update Policy Index.	Administration	Assigned
Regular Council	12-Nov-19	14.1.	Road Closure Bylaw No. 1252, 2019 (985 Peninsula Road) Bruce Greig, Manager of Community Planning	THAT Council approve recommendation 3 of the report item "Road Closure Bylaw No. 1252, 2019" which states: 3. THAT Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019, be read a third time.	Prepare Bylaw for adoption.	Administration	Complete
Regular Council	12-Nov-19	14.1.	Road Closure Bylaw No. 1252, 2019 (985 Peninsula Road) Bruce Greig, Manager of Community Planning	THAT Council approve recommendation 3 of the report item "Road Closure Bylaw No. 1252, 2019" which states: 3. THAT Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019, be read a third time.	Update bylaw with first, second and third reading dates, and update bylaw index.	Administration	Complete



STAFF REPORT TO COUNCIL

Council Meeting: NOVEMBER 26, 2019
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

FILE NO: 0890-02-PENINSULA 985

**SUBJECT: ROAD CLOSURE BYLAW No. 1252, 2019
(985 PENINSULA ROAD) - Adoption**

REPORT NO: 19-151

ATTACHMENT(S): APPENDIX A – ROAD CLOSURE BYLAW No. 1252, 2019 - REPORT No 19-144
APPENDIX B – ROAD CLOSURE BYLAW No. 1252, 2019

RECOMMENDATION:

1. **THAT** the “District of Ucluelet Zoning Amendment Bylaw No. 1252, 2019” be adopted.

PURPOSE:

The purpose of this report is to advise that Council that it is in a position to consider adopting Bylaw No. 1252, 2019.

BACKGROUND:

Bylaw No. 1252 received first, second and third reading at the November 12, 2019 Regular Meeting. The statutory notification requirement has been completed and there are no outstanding conditions to be met prior to Council’s adoption of the zoning amendment bylaw. Therefore, Council is now in a position to adopt Bylaw No. 1252, 2019.

OPTIONS REVIEW:

1. **THAT** the “District of Ucluelet Zoning Amendment Bylaw No. 1252, 2019” be adopted. **(Recommended)**
2. **THAT** Council provide staff with give alternative direction to Staff.

Respectfully submitted: Joseph Rotenberg, Manager of Corporate Services



STAFF REPORT TO COUNCIL

Council Meeting: NOVEMBER 12, 2019
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: BRUCE GREIG, MANAGER OF COMMUNITY PLANNING

FILE NO: 0890-02-PENINSULA 985

**SUBJECT: ROAD CLOSURE BYLAW NO. 1252, 2019
(985 PENINSULA ROAD)**

REPORT NO: 19-144

ATTACHMENTS: APPENDIX 'A' – NOTICE OF HIGHWAY CLOSURE AND DISPOSITION
APPENDIX 'B' – ROAD CLOSURE AND DEDICATION REMOVAL (PENINSULA ROAD)
BYLAW NO. 1252, 2019
APPENDIX 'C' – REFERENCE PLAN EPP94619 (ROAD CLOSURE)
APPENDIX 'D' – REFERENCE PLAN EPP94620 (CONSOLIDATION AND DEDICATION)

RECOMMENDATIONS:

With regard to the proposed road closure, land swap and highway dedication affecting portions of public and private property in the vicinity of 985 Peninsula Road, it is recommended that Council provide an opportunity for public input and then consider the following:

1. THAT Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019, be introduced and read a first time;
2. THAT Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019, be read a second time; and,
3. THAT Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019, be read a third time.

PURPOSE:

This report provides background on the legal context and negotiations to resolve land use and ownership conflicts on the property at 985 Peninsula Road (the "Subject Property"). This involves both public uses on private land and private uses on public land – a situation which the District and the property owners, Julie and Steve Bird, have been working to resolve. One step in resolving the matter would include the closure of a portion of public road right-of-way; the *Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019*, was drafted to achieve that step.

BACKGROUND:

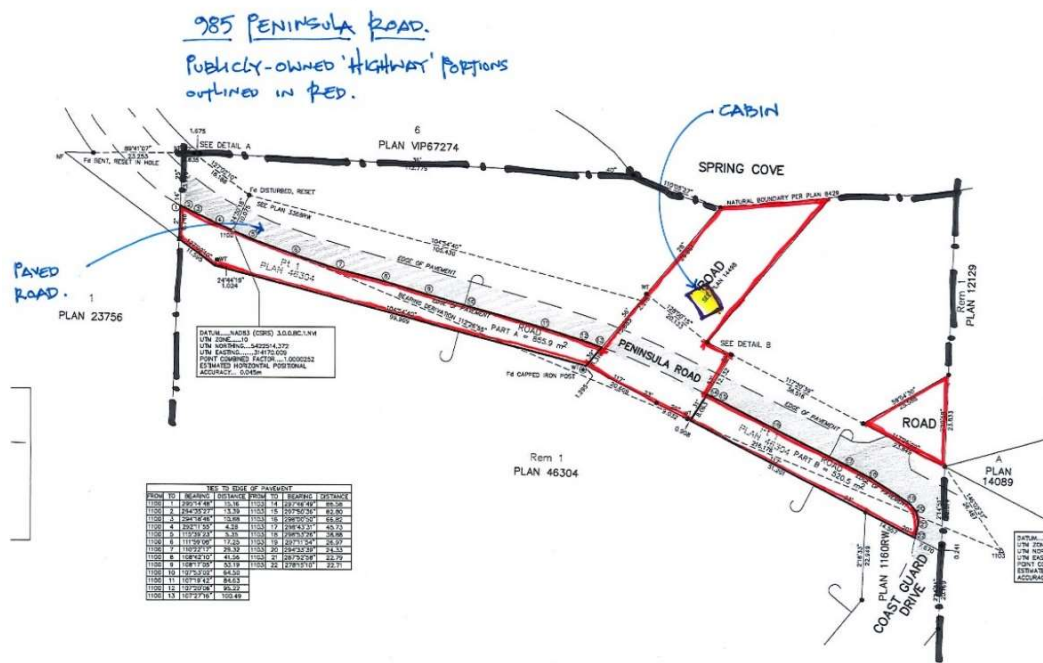
Peninsula Road runs across the Subject Property rather than through a properly dedicated strip of highway. The road appears on survey plans as early as 1951 but **was never properly dedicated or gazetted as public highway**.

The public right to maintain and access the road is guaranteed under section 4 of the *Highways Act*; however, the area deemed to be public highway only extends as far as the edge of the current paved portion of the road. Typical uses of the unpaved shoulder such as clearing vegetation to maintain sight lines, improving walkways for safe pedestrian movement, improving drainage or laying underground utilities are severely constrained along this section of Peninsula Road. Expropriation of a portion of the road shoulder was necessary in 2015 to enable construction of the pedestrian walkway connecting He-Tin-Kis park with Coast Guard Road (see **Figure 1**).

Figure 1: Land ownership

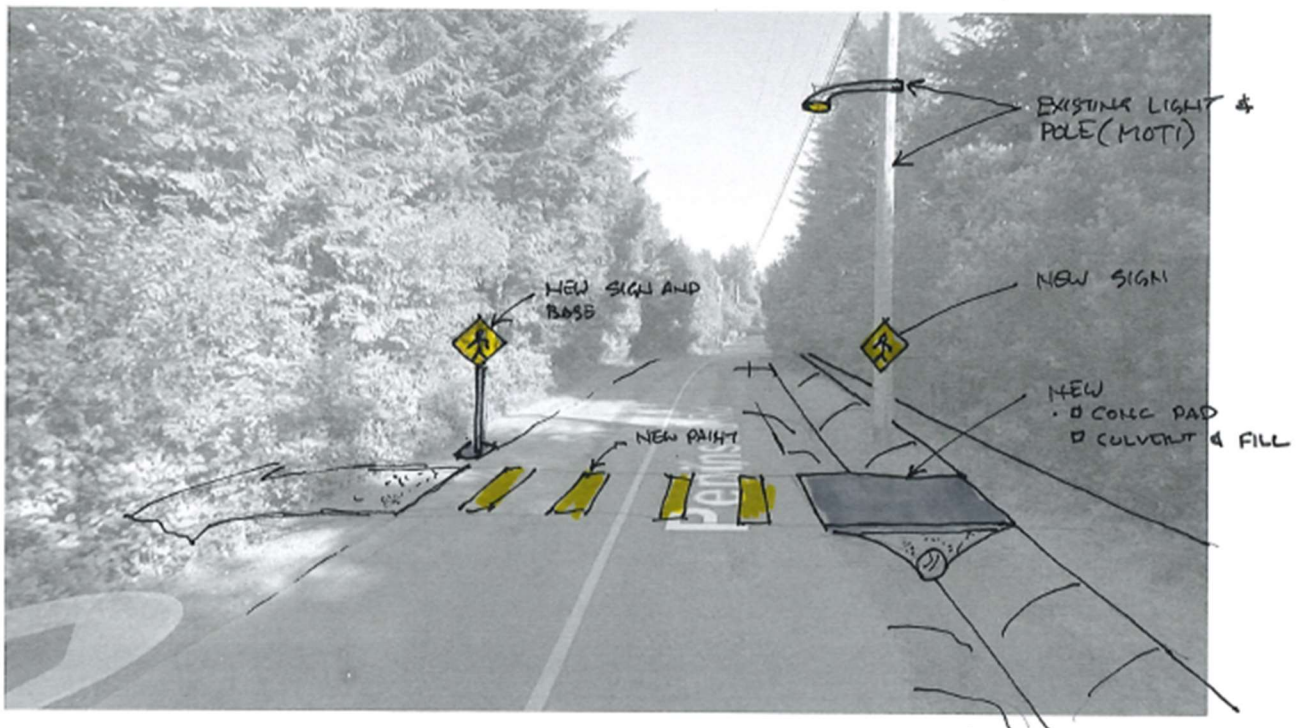
A NOTE ON "HIGHWAYS" AND WATER ACCESS:

"Highway" is the legal term for all those strips of public land providing access – whether by vehicle or on foot – throughout the District (this is notably different than the common use of the term highway in reference to major roads maintained by the Province which generally link communities). Different portions of the network of public highway contain roads, trails, paths, underground or overhead services, drainage, boulevards, trees and natural areas. The strip of highway which is the subject of Bylaw No. 1252 is a typical water-access spur providing public access to the shore. These access strips are a result of section 75 of the *Land Title Act* which requires that subdivisions of land provide 20m wide highway access at least every 200m fronting a body of water (or every 400m in certain rural circumstances).



The first phase of the **Spring Cove pedestrian trail**, currently under construction across properties to the north of the Subject Property, runs through Statutory Rights-of-Way registered across those properties providing public access for the trail. Part of the alignment of the new trail replaces sections of rotten boardwalk originally installed as the first part of the Roots Resort which later became the Terrace Beach Resort. The old boardwalk alignment met Peninsula Road directly opposite the entrance to He-Tin-Kis Park. As construction of the new Spring Cove Trail led to installing a proper marked crosswalk in this location, concerns were raised by ICBC and subsequently confirmed by a traffic engineer that a crosswalk at the corner is problematic for pedestrian safety due to sight lines. Installing a section of pathway parallel to Peninsula Road to a point where a suitable crosswalk could be installed is not currently an option as it would be trespassing across privately-owned land. **Dedication of highway in this location would enable the construction of a safe crosswalk** to engineering (and ICBC) standards (see **Figure 2**).

Figure 2: Potential crosswalk to Spring Cove phase 1 trail



In 2000 the owners of the subject property constructed a **cabin on the portion of municipally-owned highway** next to Spring Cove. The cabin's location did not exactly match what was shown on the building permit documents (see **Figure 3**).

Figure 3: Cabin location (outlined in red)



To resolve these matters, the District and the Birds have come to an agreement for a land exchange. In short, the agreement is to do the following:

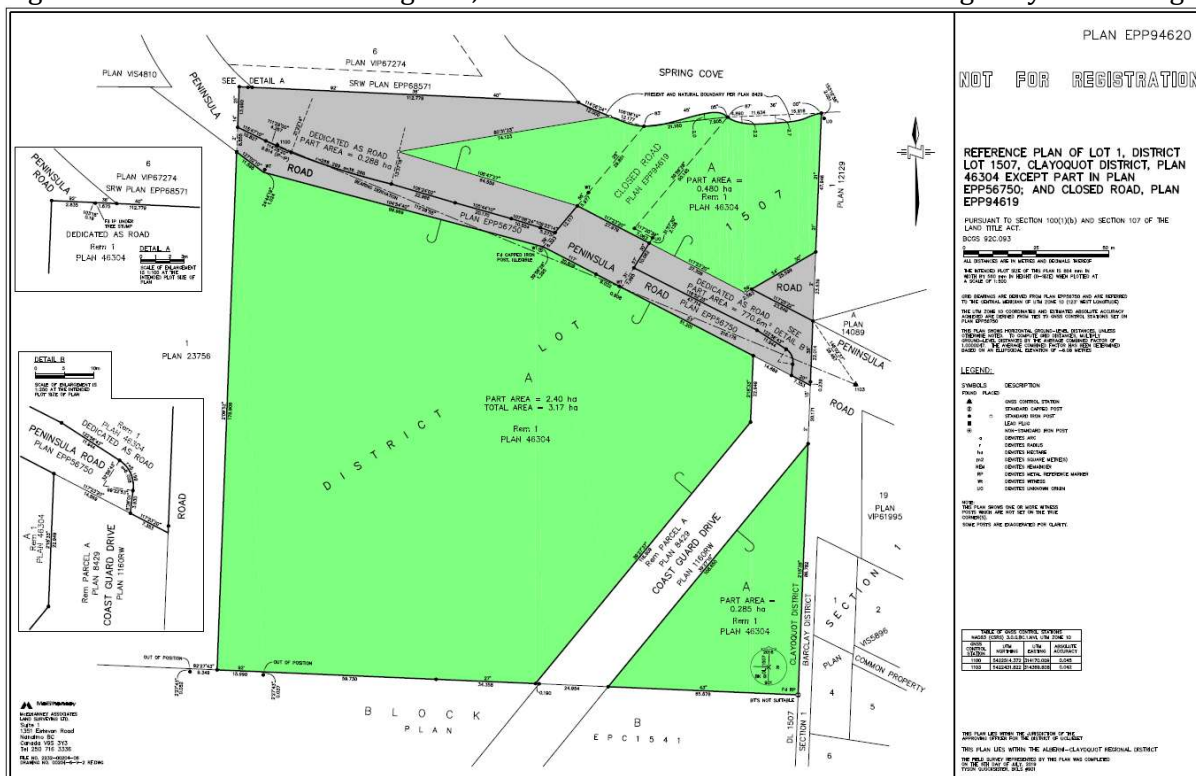
- a. the District would close a section of highway (subject to Bylaw No. 1252 – see **Appendices 'B' and 'C'**);
- b. the District would transfer that area of land (the former “highway”), which would be consolidated with the Birds’ lot;
- c. the Birds would dedicate a new portion of highway, further north, which would replace the access to Spring Cove;
- d. the Birds would dedicate portions of land to provide an adequate and continuous strip of highway along Peninsula Road; and,
- e. the District would pay \$15,800.00 to the Birds in consideration for the additional land area being acquired, on balance, as public land resulting from the land exchange.

The end result of the land exchange is illustrated in **Figures 5 and 6**, and is shown in detail on the survey Reference Plan EPP94620 which is found in **Appendix D**.

Figure 5: Result of proposed exchange and dedication:



Figure 6: Private land shown in green, Peninsula Road continuous areas of highway shown in grey:



Statutory Requirements:

The agreement between the property owners and the District recognizes that the road closure is subject to adoption of a road closure bylaw, for which Council is required to keep an open mind and accept public input. The notification of the proposed road closure bylaw has been advertised in the *Westerly News* (see **Appendix 'A'**), and Council should now provide an opportunity for public input prior to considering motions for introducing and giving readings to the *Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019*.

Section 41 of the *Community Charter* spells out requirements whenever a Council is considering closing a section of highway which provides water access:

Restrictions in relation to highway disposition, closure or alteration

41 (1) As a restriction, if

(a) a bylaw under section 40 (1) (a) [*authority to permanently close*] affects a highway, or part of a highway, that provides access to the ocean or a lake, river or other stream or watercourse, and

(b) the municipality is proposing to dispose of the highway or part,

the municipality may only dispose of that highway or part if

(c) the municipality is exchanging the property for other property that the council considers will provide public access to the same body of water that is of at least equal benefit to the public, or

(d) the proceeds of the disposition are to be paid into a reserve fund, with the money from the reserve fund used to acquire property that the council considers will provide public access to the same body of water that is of at least equal benefit to the public.

Survey work has been completed to prepare the legal plans showing the proposed areas of land for closure, dedication and transfer (see **Appendices 'C' and 'D'**). Note that the new highway dedication would provide public access to Spring Cove (the same body of water under 41(1)(c) of the *Community Charter*, being a portion of the Pacific Ocean) starting approximately 60m west along Peninsula Road from the closed portion. This new area for public water access includes favourable slopes for a pedestrian trail connection, and a number of significant mature trees. Staff recommend that the new water access would be at least of equal benefit to the public as the area proposed to be closed under Bylaw No. 1252.

Financial Impacts:

As mentioned above, the agreement includes a payment \$15,800.00 by the District for the additional land area being acquired. Under the agreement the District will cover the survey and legal costs for the road closure and land exchange; much of this cost has already been accrued, and has been covered under current legal budgets within the operating budgets of the Planning and Administration departments.

Conclusion:

Staff recommend that the road closure, dedication and transfer under the agreement between the District and the Birds, and as described in this report, would provide a win-win for both the land owners and the public. The resulting land exchange would accomplish the following:

- a. the Birds' cabin would now be located on their property;
- b. Peninsula Road would now run through a properly dedicated strip of highway, including road shoulder boulevard areas;
- c. the Spring Cove trail would be extended to a location for a safe pedestrian crossing with clear sightlines;
- d. several large mature trees would now be located on public land, adjacent to the trail; and,
- e. the newly dedicated water access portion of the highway dedication would provide a better, more accessible pedestrian connection to Spring Cove.

Subject to public comment, staff strongly recommend that the adoption of *Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019*, and completion of the land transfer under the agreement with the Birds would be a positive conclusion respecting both public and private interests.

Options review:

Should the road closure bylaw not be adopted, and the land exchange be abandoned, the following could occur:

- a. the Birds could either remove their cabin from public land, or alternatively propose to enter into an encroachment agreement with the District;
- b. the District could continue to maintain but could not expand the road surface (or add utilities, maintain sightlines, or add new pedestrian pathways) along the section of Peninsula Road crossing the Birds' land; and,
- c. the District would need to consider alternatives to providing a safe pedestrian crossing before opening the Spring Cove trail to public use.

Respectfully submitted: Bruce Greig, Manager of Community Planning
Mark Boysen, Chief Administrative Officer



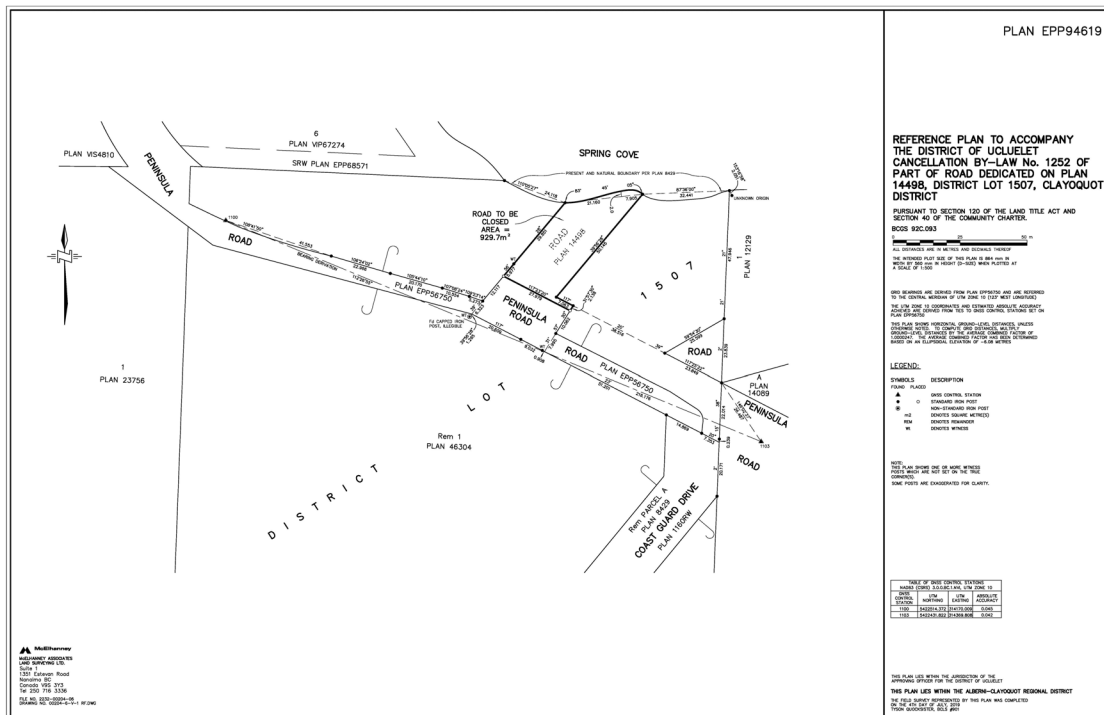
THE DISTRICT OF UCLUELET
NOTICE OF HIGHWAY CLOSURE AND DISPOSITION

Pursuant to section 40 of the *Community Charter*, the District of Ucluelet gives notice of its intention to close to traffic and remove the highway dedication of the 929.7 square metre portion of highway shown outlined in a heavy black line and identified as “Road To Be Closed” on Reference Plan EPP94619, a reduced copy of which forms part of this notice.

The proposed highway closure and removal dedication would be accomplished by the adoption of Ucluelet Road Closure and Dedication Removal Bylaw No. 1252, 2019 (the “Proposed Bylaw”). Council will consider adopting the Proposed Bylaw at its regular meeting at the Ucluelet Community Centre, located at 500 Matterson Drive, Ucluelet, BC, on November 12, 2019 at 2:30 pm. At this meeting, persons who consider they are affected by the Proposed Bylaw will be allowed to make representations to Council and will be afforded a reasonable opportunity to be heard or to present written submissions.

A copy of the Proposed Bylaw will be available for viewing at the Municipal Hall, 200 Main Street, Ucluelet, BC, from October 28, 2019, to November 12, 2019, during the District’s regular business hours of 8:30 am to 4:00 pm Mondays to Friday, except holidays.

The District of Ucluelet further gives notice, pursuant to section 26 of the *Community Charter*, of its intention to sell the closed portion of highway to John Stephen Bird and Julie Davina Bird (the “Purchasers”). The closed portion of highway will be transferred to the Purchasers for consolidation with the Purchaser’s adjacent lands, and in exchange the Purchasers will dedicate portions of their land as road – including a portion to provide public access to Spring Cove approximately 60m west of the area of existing highway proposed to be closed - and the District will pay \$15,800.00.



Mark Boysen, Corporate Officer

THE DISTRICT OF UCLUELET

BYLAW NO. 1252, 2019

A Bylaw to Close a Portion of Peninsula Road at Spring Cove

WHEREAS, pursuant to Section 40 of the *Community Charter*, Council may, by bylaw, close a portion of a highway to traffic and remove the dedication of the highway if, prior to adopting the bylaw, Council publishes notice of its intention in a newspaper and provides an opportunity for persons who consider they are affected by the bylaw to make representations to Council;

AND WHEREAS the Council of the District of Ucluelet deems it expedient to close to traffic and remove the dedication of highway of the 929.7 square metre portion highway shown outlined in bold black and labelled "Road to be Closed" on Reference Plan EPP94619, a reduced copy of which is attached to this Bylaw (the "Closed Road").

AND WHEREAS notices of Council's intention to close the Closed Road to traffic and to remove its dedication as highway were published in the newspaper and posted in the public notice posting place, and Council has provided an opportunity for persons who consider they are affected by the closure to make representations to Council;

AND WHEREAS Council does not consider that the closure of the Closed Road will affect the transmission or distribution facilities or works of utility operators;

NOW THEREFORE the Council of the District of Ucluelet, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019."
2. Attached to this Bylaw as Schedule "A" and forming part of this Bylaw is a copy of Reference Plan of Highway Closure EPP94619, prepared by Tyson Quocksister, B.C.L.S. and completed and checked on July 4, 2019 (the "the Road Closure Plan").
3. The District hereby authorizes the closure to traffic and removal of highway dedication of the 929.7 square metre portion of highway created by the deposit of Reference Plan EPP94619 and shown outlined in bold and labeled "Road To Be Closed" on the Road Closure Plan (the "Closed Road").
4. The Mayor and Clerk are authorized to execute all deeds of land, plans, and other documentation necessary to effect this road closure and the Clerk is directed to file this Bylaw in accordance with section 120 of the *Land Title Act*.

READ A FIRST TIME this ___ day of _____, 2019.

READ A SECOND TIME this ___ day of _____, 2019.

READ A THIRD TIME this ___ day of _____, 2019.

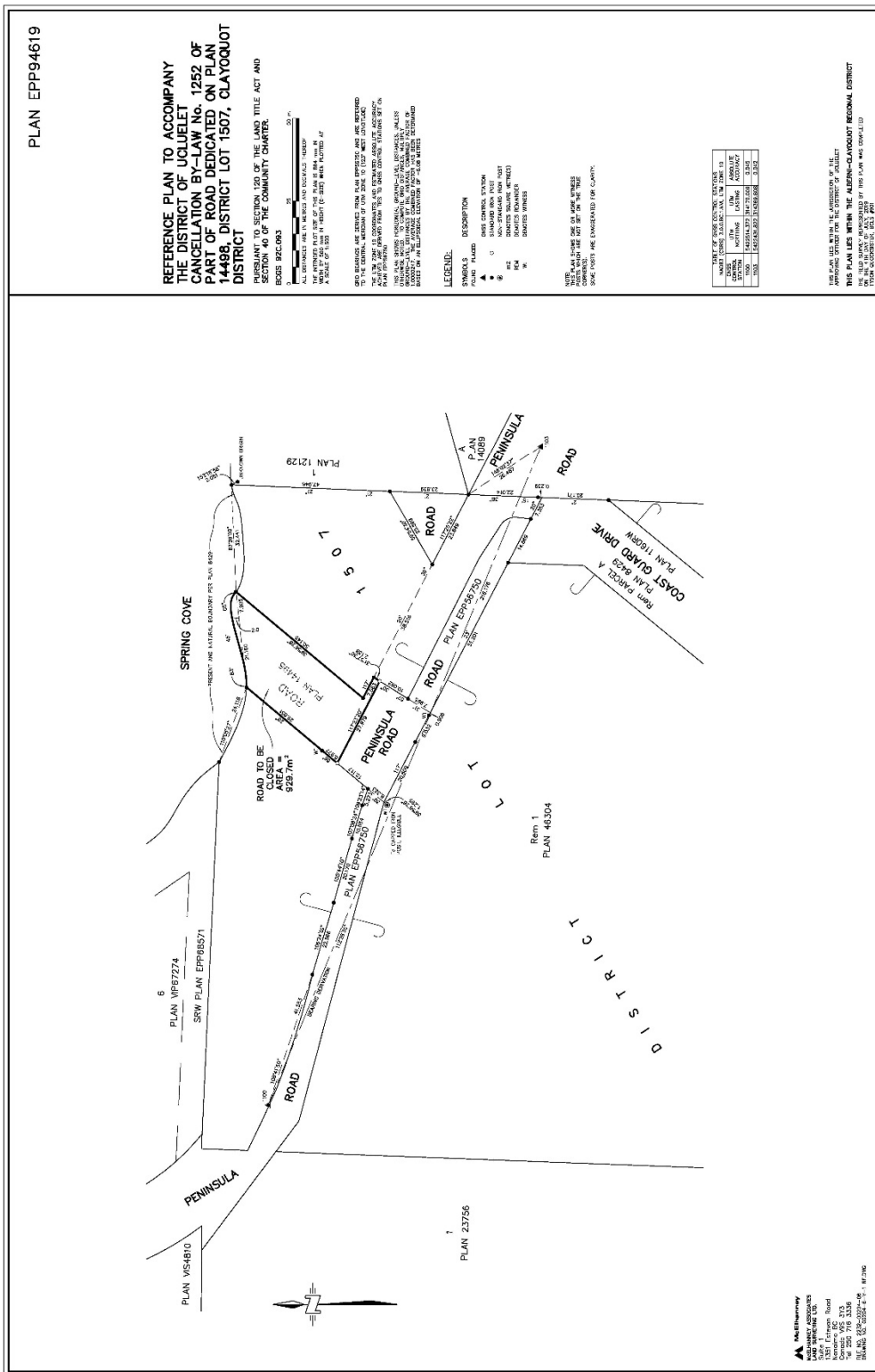
ADOPTED this ___ day of _____, 2019.

Mayco Noël
Mayor

Mark Boysen
Corporate Officer

SCHEDULE "A"

REFERENCE PLAN OF CLOSED ROAD EPP94619



PLAN EPP94619

REFERENCE PLAN TO ACCOMPANY THE DISTRICT BY-LAW No. 1252 OF CANCELLATION BY-LAW No. 1252 OF PART OF ROAD DEDICATED ON PLAN 14498, DISTRICT LOT 1507, CLAYQUOT DISTRICT

PURSUANT TO SECTION 120 OF THE LAND TITLE ACT AND SECTION 40 OF THE COMMUNITY CHARTER.

BOISE 92C.083
 THE ABOVE DESCRIBED ROAD IS TO BE CLOSED TO TRAFFIC IN THE DISTRICT OF CLAYQUOT FOR THE PURPOSES OF THE ABOVE DESCRIBED BY-LAW. THE ROAD IS TO BE CLOSED TO TRAFFIC FROM THE DATE OF THE SIGNING OF THIS PLAN.

ALL BEARINGS ARE DERIVED FROM PLAN SURVEYS AND ARE REFERRED TO THE CENTRAL MERIDIAN OF THE ZONE TO WHICH THEY BELONG. THE POSITION OF THE ROAD IS TO BE AS SHOWN ON THIS PLAN.

THIS PLAN SHOWS THE POSITION OF THE ROAD TO BE CLOSED TO TRAFFIC. THE ROAD IS TO BE CLOSED TO TRAFFIC FROM THE DATE OF THE SIGNING OF THIS PLAN.

LEGEND:

SYMBOLS
 ——— ROAD
 ——— ROAD TO BE CLOSED
 ——— ROAD TO BE DEDICATED
 ——— ROAD TO BE DEDICATED
 ——— ROAD TO BE DEDICATED
 ——— ROAD TO BE DEDICATED
 ——— ROAD TO BE DEDICATED

NOTE: THE ROAD TO BE CLOSED TO TRAFFIC IS SHOWN ON THIS PLAN. THE ROAD IS TO BE CLOSED TO TRAFFIC FROM THE DATE OF THE SIGNING OF THIS PLAN.

NO.	DESCRIPTION	DATE
1	APPROVED BY THE DISTRICT COUNCIL	15/09/2019
2	APPROVED BY THE DISTRICT COUNCIL	15/09/2019
3	APPROVED BY THE DISTRICT COUNCIL	15/09/2019
4	APPROVED BY THE DISTRICT COUNCIL	15/09/2019
5	APPROVED BY THE DISTRICT COUNCIL	15/09/2019

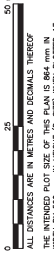
THIS PLAN LIES WITHIN THE ALBERTA-CANADIAN REGIONAL DISTRICT OF CLAYQUOT.

APPENDIX D

PLAN EPP94620

REFERENCE PLAN OF LOT 1, DISTRICT LOT 1507, CLAYQUOT DISTRICT, PLAN 46304 EXCEPT PART IN PLAN EPP56750; AND CLOSED ROAD, PLAN EPP4619

PURSUANT TO SECTION 100(1)(b) AND SECTION 107 OF THE LAND TITLE ACT.
BCGS 92C.093



GRID BEARINGS ARE DERIVED FROM PLAN EPP6750 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF TIME ZONE 10 (125 WEST LONGITUDE). ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF. THE INTENDED PLOT SIZE OF THIS PLAN IS 864 mm IN WIDTH BY 560 mm IN HEIGHT (D-SIZE) WHEN PLOTTED AT A SCALE OF 1:1000.

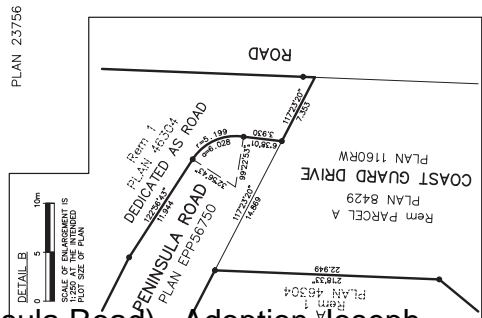
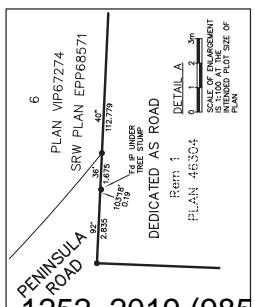
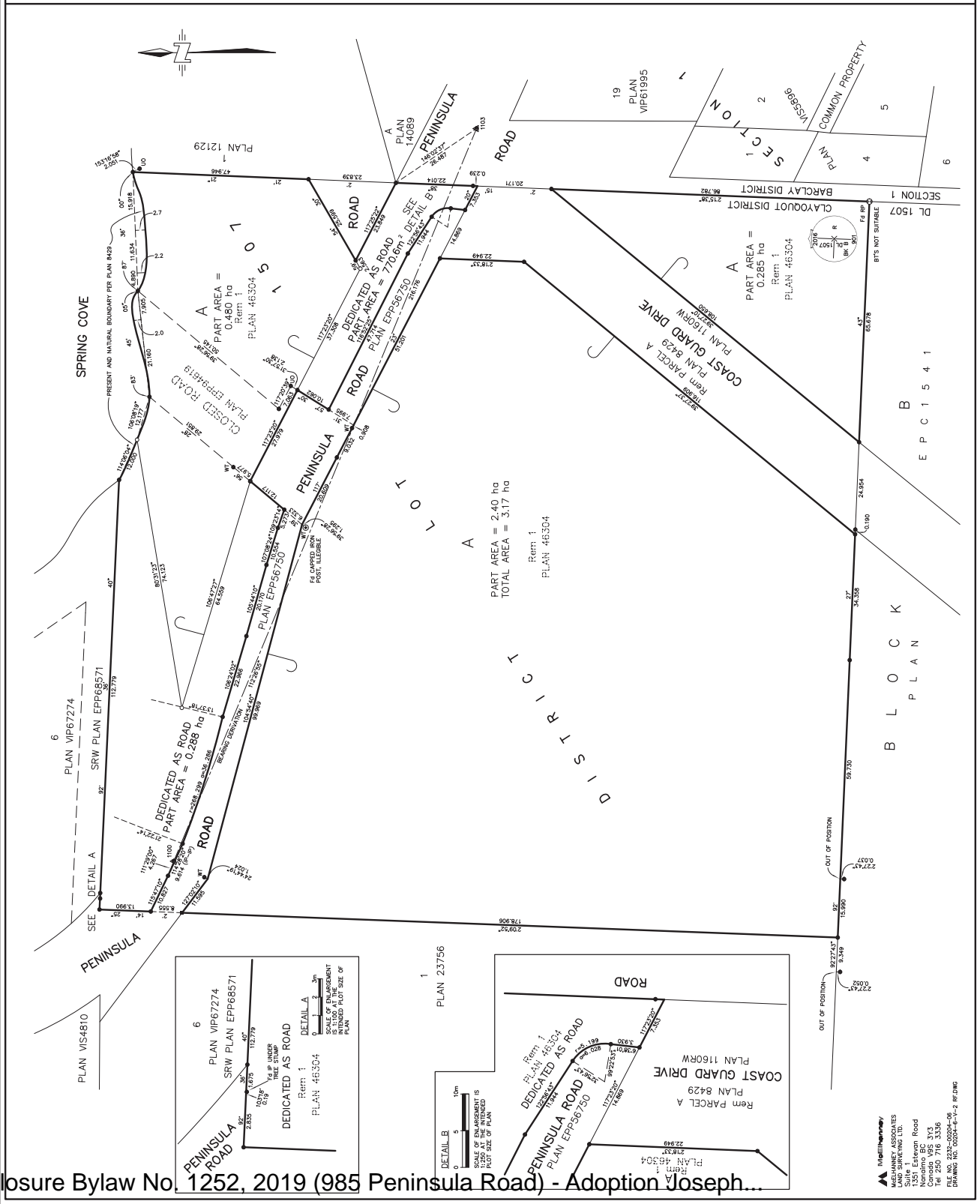
LEGEND:

SYMBOLS FOUND	DESCRIPTION PLACED
▲	GNSS CONTROL STATION
●	STANDARD IRON POST
○	NON-STANDARD IRON POST
○	IDENTIES ARC
○	IDENTIES RADIUS
○	IDENTIES SQUARE METRES
RM	IDENTIES REMAINDER
RP	IDENTIES METAL REFERENCE MARKER
UO	IDENTIES UNKNOWN ORIGIN

THIS PLAN SHOWS ONE OR MORE WINNERS POSSESSIONS WHICH ARE NOT SET ON THE TRUE POSSESSIONS. SOME POSTS ARE EXAGGERATED FOR CLARITY.

MARKET (CORS)	3-D ELEVATION (M)	UTM EASTING	UTM NORTHING	ABSOLUTE ELEVATION (M)
1103	5422531.522	114589308	0.045	

THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE DISTRICT OF VIOLETTE. THIS PLAN LIES WITHIN THE ALBERNI-CLAYQUOT REGIONAL DISTRICT. THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED BY DON QUACKENBUSH, B.S. 1991.



THE DISTRICT OF UCLUELET

BYLAW NO. 1252, 2019

A Bylaw to Close a Portion of Peninsula Road at Spring Cove

WHEREAS, pursuant to Section 40 of the *Community Charter*, Council may, by bylaw, close a portion of a highway to traffic and remove the dedication of the highway if, prior to adopting the bylaw, Council publishes notice of its intention in a newspaper and provides an opportunity for persons who consider they are affected by the bylaw to make representations to Council;

AND WHEREAS the Council of the District of Ucluelet deems it expedient to close to traffic and remove the dedication of highway of the 929.7 square metre portion highway shown outlined in bold black and labelled "Road to be Closed" on Reference Plan EPP94619, a reduced copy of which is attached to this Bylaw (the "Closed Road").

AND WHEREAS notices of Council's intention to close the Closed Road to traffic and to remove its dedication as highway were published in the newspaper and posted in the public notice posting place, and Council has provided an opportunity for persons who consider they are affected by the closure to make representations to Council;

AND WHEREAS Council does not consider that the closure of the Closed Road will affect the transmission or distribution facilities or works of utility operators;

NOW THEREFORE the Council of the District of Ucluelet, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "Road Closure and Dedication Removal (Peninsula Road) Bylaw No. 1252, 2019."
2. Attached to this Bylaw as Schedule "A" and forming part of this Bylaw is a copy of Reference Plan of Highway Closure EPP94619, prepared by Tyson Quocksister, B.C.L.S. and completed and checked on July 4, 2019 (the "the Road Closure Plan").
3. The District hereby authorizes the closure to traffic and removal of highway dedication of the 929.7 square metre portion of highway created by the deposit of Reference Plan EPP94619 and shown outlined in bold and labeled "Road To Be Closed" on the Road Closure Plan (the "Closed Road").
4. The Mayor and Clerk are authorized to execute all deeds of land, plans, and other documentation necessary to effect this road closure and the Clerk is directed to file this Bylaw in accordance with section 120 of the *Land Title Act*.

READ A FIRST TIME this 12th day of November, 2019.

READ A SECOND TIME this 12th day of November, 2019.

READ A THIRD TIME this 12th day of November, 2019.

ADOPTED this __ day of _____, 2019.

Mayco Noël
Mayor

Mark Boysen
Corporate Officer



STAFF REPORT TO COUNCIL

Council Meeting: November 26, 2019
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: BRUCE GREIG, MANAGER OF COMMUNITY PLANNING

FILE NO: 3360-20-RZ19-05

SUBJECT: LOT 13 MARINE DRIVE – PROPOSED AFFORDABLE HOUSING

REPORT NO: 19- 153

ATTACHMENT(S): APPENDIX A – APPLICATION

APPENDIX B – WHITE PAPER ON *BEST PRACTICES FOR AFFORDABLE HOUSING*

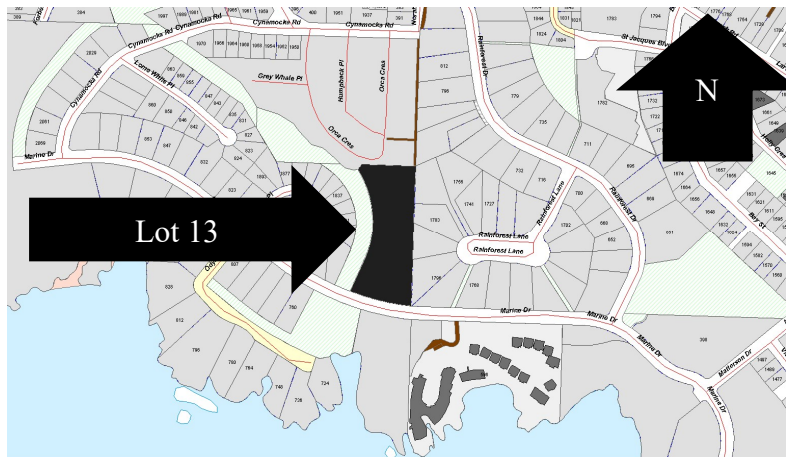
1.0 RECOMMENDATIONS:

1. **THAT** Council indicate whether it is prepared to support one or more of the following concessions sought by the developer of the proposed 33-unit micro-lot affordable housing development on Lot 13:
 - a. consider adopting a DCC Cost Reduction and Waiver Bylaw for affordable housing and/or other categories of qualifying development and, if so, direct staff to prepare a draft bylaw and report on funding options for initial consideration and public input; **and/or**
 - b. accept that purchase or rent by households earning the median income or less is deemed as meeting the intent of the District's policies for affordable housing, rather than households earning 80% of median income or less, for this project.
2. **THAT** Council direct staff to prepare a zoning amendment bylaw to accommodate the use and density of the proposed affordable housing development on Lot 13, for introduction at a future Council meeting; **and,**
3. **THAT** Council encourage the applicant to provide further detail and / or clarification on the following:
 - a. the proposed construction method, quality, energy efficiency and exterior materials of the housing units;
 - b. details of the mechanism and legal instruments which would define and ensure the ongoing affordability of the units, for both rental and ownership models;
 - c. detailed landscape preservation and stream corridor mitigation plans; and,
 - d. analysis of servicing requirements and potential efficiencies with municipal utility networks and for connections through the site.

2.0 PURPOSE:

The purpose of this report is to provide information on Zoning Bylaw Amendment **Application RZ19-05** from ACMC Holdings Ltd., received for a proposed affordable housing development on Lot

13, District Lot 283, Clayoquot District, Plan VIP844686 (Lot 13 Marine Drive). This report describes the status of the application, gives key considerations for Council, and proposes next steps in the application process.



Site Context

3.0 DISCUSSION

3.1 Background

A rezoning application was received from APMC Holdings Ltd. on, July 23rd, 2019, proposing that a new zone be created to permit a thirty-three (33) affordable micro-lot housing development on Lot 13 Marine Drive. The property in question is approximately 3.7 acres in area and currently zoned for Comprehensive Development 5 (CD-5C) – OceanWest / Affordable Housing. The Comprehensive Development 5 (CD-5C) zone designates Lot 13 Marine Drive for affordable housing. The provision of these lands as affordable housing is tied to an existing Master Development Agreement (MDA), dated September 28th, 2005, which was established with Weyerhaeuser Company Limited for base development density on its property held in Ucluelet. Importantly, the Master Development Agreement places restrictions on multiple family residential and resort condominium development on other lands under the MDA until affordable housing is provided. Lot 13 was earmarked for affordable housing as one place where this requirement would be met. The property is proposed to be transferred to the developer (APMC Holdings Ltd.) by Weyerhaeuser Company Limited in an arrangement intended to fulfill their

The comprehensive development zoning of the Weyerhaeuser lands included commitments by the landowner to provide a number of community amenities. Most of these commitments have already been met with the initial phases of the OceanWest development (funding toward construction of the UCC, fire equipment and other cash contributions, commitment under the MDA to provide land for affordable housing, etc.). Additional park land and trail dedication commitments are expected to fall into place under the MDA or future rezoning for development of the Weyerhaeuser lands north of Forbes Road. Development of the Weyerhaeuser lands is on track to fulfill its commitments as future phases unfold.

The status of amenities provided for other Comprehensive Development (CD) zoned lands within the District is less clear; as they approach the District with development plans, those landowners should clarify the community benefits proposed in conjunction with development approvals.

obligation as stated in the Master Development Agreement.

The Master Development Agreement states as a condition for the development of the Weyerhaeuser lands that various amenities be provided as a requirement of the Rezoning and the OCP Amendment Bylaw, including affordable housing.¹

The key elements of the Master Development Agreement which relate to the proposed development of Lot 13 are:

- a. *the reservation, by covenant or affordable housing agreement, of two fully serviced lots, totaling approximately 2.4 to 2.8 hectares (6-7 acres) of land for affordable housing use (Lot 13 is 3.7 acres or 1.5Ha.);*
- b. *a minimum number of 90 affordable housing units be provided in conjunction with the multiple family residential and resort condominium units (calculated at full build out);*
- c. *qualification criteria, parameters and guidelines shall be developed by a not-for-profit housing organization in consultation with the District and the Developer;*
- d. *the Affordable Housing units are to be constructed by the Developer, but managed and administered by a not-for-profit housing organization, including with respect to rentals and sales (in which case acceptable profits are to return to the Developer); and*
- e. *restrictions on multiple family residential and resort condominium development until affordable housing is also provided.*

The 33 micro-lot affordable modular housing units being proposed by ACMC Holdings Ltd. would be a mix of for-profit ground-oriented affordable rental housing, and units on lots for purchase. The developer proposes that a portion could be sold at below market value, with the remainder being allocated as affordable rental housing in perpetuity.

ACMC Holdings Ltd. has suggested that BC Housing will fund the 'for purchase' portion of the development in accordance with their Affordable Home Ownership Program (AHOP) and the developer (ACMC) would fund the rental portion of the development. The details regarding the operation and maintenance of the affordable rental portion of the development will be established through a Housing Agreement between the District of Ucluelet and the owner / developer and enforced through covenants. The rental units would then be managed by ACMC Holdings Ltd. in partnership with the District of Ucluelet, which would provide oversight and enforcement of the Housing Agreement.

ACMC Holdings Ltd. has suggested Pemberton Holmes rental management company would assist with the day to day maintenance and management of the rental units once established. ACMC Holdings Ltd. has also stated that they would be open to working with a not-for-profit housing society or Housing Authority if one is established in the region; at which time the oversight and enforcement of the Housing Agreement, as well as day-to-day maintenance of the properties would be transferred to the not-for-profit housing society or Housing Authority.

BC Housing has provided a letter confirming BC Housing's interest in the AHOP (i.e., for-purchase) portion of the project and has requested further clarification on ACMC's agreement with the District.

¹ The definition for "affordable housing" in the Master Development Agreement follows the OCP definition: "housing suitable for households of low & moderate income (with incomes that are 80% or less than the median household income in the District of Ucluelet as reported by Statistics Canada and as defined by Canada Mortgage Housing Corporation, CMHC)."

Currently, there is no formal agreement in place between ACMC Holdings Ltd. and BC Housing (or a qualified not-for-profit housing society) to provide support for the project's development or for the long-term maintenance and management of the units once they are constructed.

Supplemental information regarding ACMC Holdings Ltd.'s rezoning application and proposed development for Lot 13 Marine Drive is provided below.

3.2 Alignment with District Land Use Regulations

The following section describes where ACMC Holdings Ltd.'s application for affordable housing on Lot 13 does and does not meet the District of Ucluelet's land use regulations, notably the intent of the Official Community Plan (OCP) and Zoning Bylaw. As discussed, the applicant is seeking a rezoning from Comprehensive Development 5 (CD-5C) – Oceanwest / Affordable Housing to create a new zone that permits the development of thirty-three (33) affordable micro lots, and a waiver of 100% of DCC fees.

3.2.1 Alignment with District of Ucluelet Official Community Plan Bylaw No. 1140, 2011

The District of Ucluelet Official Community Plan Bylaw No. 1140, 2011, designates Lot 13 as Comprehensive Development (CD). The Comprehensive Development designation applies to those areas covered by the existing Master Development Agreements (MDAs), including District Lots 282 and 281 and lands in the vicinity of Minato Road. These CD areas represent some 359 hectares, or 55 percent of land within the District's boundaries. Permitted land uses in the comprehensive development designation MDA areas include:

- Single family with a range of lot sizes;
- Multi-family residential and commercial
- Resort condominiums;
- Vacation rentals and Guest House lots;
- Affordable housing;
- Hotel/spa, motel and staff housing units;
- Golf course/clubhouse and marina;
- Limited commercial facilities restricted to servicing the tourist sector;
- Parks and natural space; and
- Wild Pacific Trail.

As mentioned earlier in this report, Lot 13 has been designated for use as affordable housing in accordance with the Master Development Agreement. However, the Comprehensive Development (CD) OCP designation supports a flexible approach that suggests lands under this designation may be re-designated without a formal OCP amendment at the discretion of the District, stating that:

“Amendments to each Master Development Agreement may be considered without amendment of the OCP provided the overall density is not increased and the Wild Pacific Trail is not compromised.”

The OCP further states that:

“Where development has not proceeded in accordance with MDAs in a timely manner (within 5 years of execution), has stalled for extended periods of time (5 years or longer) or the

original landowner has not fulfilled obligations in the expected timeframes expected, the District may, but is not obligated to, reconsider the MDA-approach and revert zoning to pre-MDA conditions without amendment of the OCP; future development can then proceeding[sic] either in accordance with pre-CD zoning or on application for new zoning based on the policies in this section and OCP.”

Additional OCP direction for this application comes from Section 3.5 (i) Affordable Housing, which provides a number of policies supporting the development of affordable housing in Ucluelet.

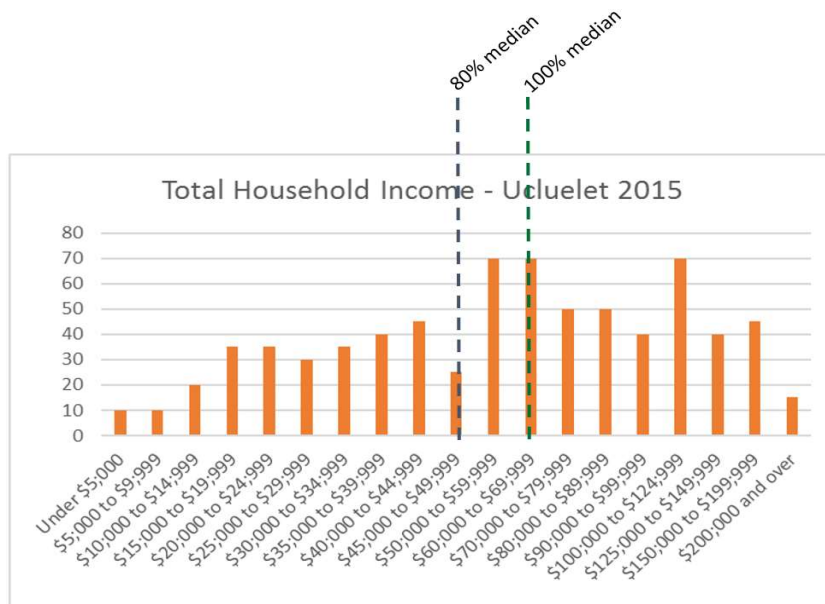
Affordable housing policies in Section 3.5 (i) of the OCP lend support for the proposed development format:

- **Affordable Housing Policy #6** - Encourage development of mobile/modular home parks with high quality site design, screening and landscaping; and
- **Affordable Housing Policy #7**- Encourage alternative housing options, including bare land strata and small lot subdivision.

The OCP also provides a specific definition for affordable housing:

“Affordable Housing is defined as housing suitable for households of low & moderate income (with incomes that are 80% or less than the median household income in the District of Ucluelet as reported by Statistics Canada and as defined by Canada Mortgage Housing Corporation, CMHC).”

The developer has suggested that this definition would not be applied to the proposed affordable rental housing of the development on Lot 13 and has suggested a higher rent threshold. Where the OCP defines “affordable” relative to households making up to 80% of the median income, the developer is proposing that this housing would target households up to 100% median income (see Figure 1) **Figure 1:**



The proposed development would be priced (rent or sale) to be affordable for households at the median income (\$61,888 per 2016 census) or below. This would result in higher costs, but would capture approximately 75 additional eligible households, than if qualifying households were capped at 80% of the median (\$49,510) or below.

Lot 13 also falls under Development Permit Area No. 8 (Former Forest Reserve Lands), which provides specific development guidelines for this area. Development Permit Area No. 8 regulations provide specific direction to developers for environmental protection, tree preservation, site development and building design.

Upon review, the proposed development concept provided in the application engages several DPA regulations, including:

- **Riparian Setbacks** - *No development can approach within 30m of the high-water mark around the sensitive marine wetlands.*

The proposed development concept shows clearing and residential unit construction within 30m of the high-water mark of a 1.33 m fish bearing stream (see **Figure 1.0** below). The Environmental Assessment Report provided by Toth and Associates recommends that a 10m Streamside Protection and Enhancement Area (SPEA) setback, measured in horizontal distance perpendicular from the high-water mark, is sufficient.

- **Low Impact Development** - *A landscape preservation plan for all developments must be included as part of the development application process in order to ensure protection of existing significant trees and shrubs:*
 - *This will include plans showing pre and post-development conditions in order to prevent over-cutting;*
 - *All Sitka Spruce must be identified by a qualified arborist and, where they are determined to be healthy, preserved; and*
 - *The removal of any native tree species that is 30cm Dbh or greater (Diameter at Breast Height = 1.3m) measured with a proper tree caliper is prohibited.*

The proposed development concept shows that a substantial proportion of the property will need to be cleared to accommodate the project density, which will likely result in the loss of several significant trees. Though the site plan has been developed to spare a number of significant trees, including six mature Sitka Spruce as identified, the level of clearing proposed is substantial.

- **Building Form and Character** - *The form and character of buildings should reflect the natural beauty of the area. This can be achieved through – 1. The sensitive siting of buildings; 2. Producing architectural designs that are naturally inspired; 3. Using materials and building methods that are inherent to the area and its natural and man-made history. The exterior cladding of buildings must be of natural material and in keeping with the character of Ucluelet. Wood (particularly cedar) and stone are encouraged; the use of stucco, pebble dash cladding or the like is prohibited in DPA No.8.*

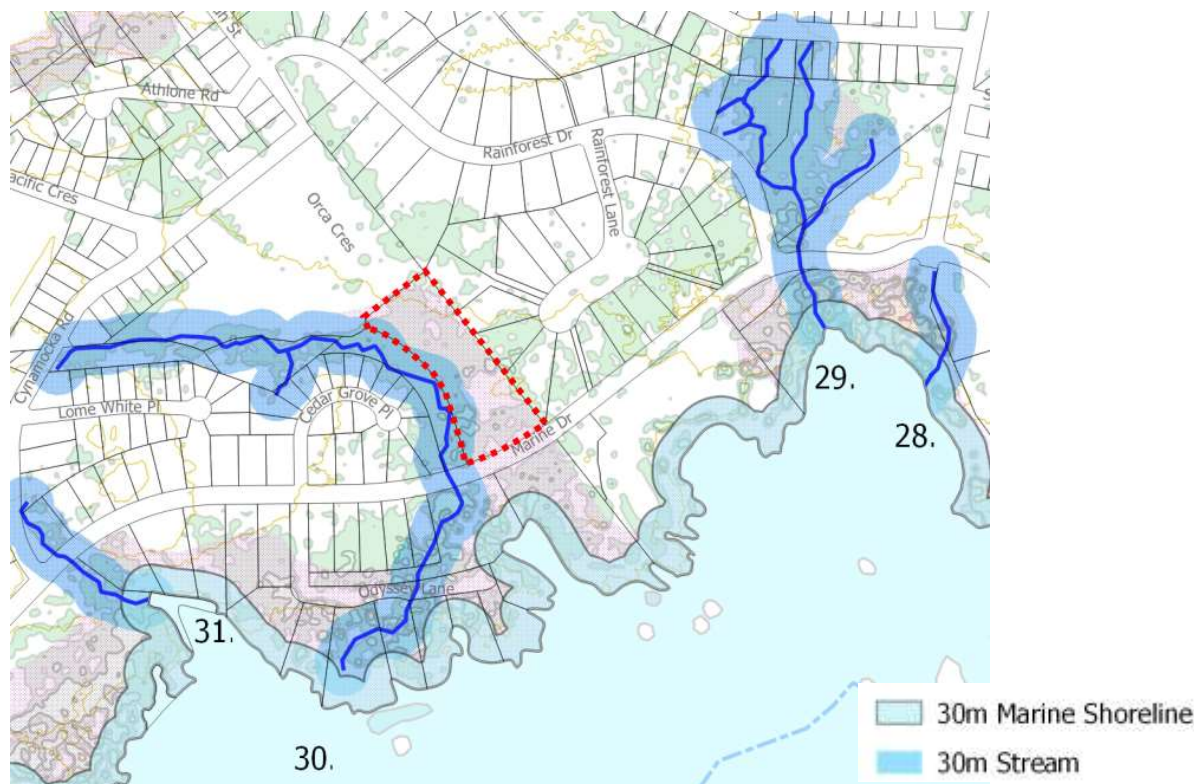
The applicant proposes the construction of modular homes on each of the thirty-three (33) affordable micro lots, which may limit opportunities for the sensitive siting of buildings and naturally inspired

architectural designs. The developer should also confirm the design, configuration and materials of the units to ensure they meet the DPA No.8 form and character guidelines.

It should be noted that consultation for the new Official Community Plan is underway. The new OCP provides additional direction for the development of Lot 13, but since it has yet to be adopted it has been referred to by both staff and the developer for context purposes only. Relevant information provided in this document includes the location of fish bearing streams and flood risk areas, both of which will likely have an impact on the development of Lot 13 and the proposed development concept and site plan.

As shown in **Figure 2**, taken from “Schedule E – Environmental Development Permit Areas” of the draft OCP, Lot 13 is located adjacent to a 1.33-metre fish bearing stream with a significant area of the property located within the 30m riparian setback. The environmental report provided by the developer suggests that a 10m riparian setback is sufficient. Under the provisions of the Zoning Bylaw, the reduced setback recommended by the consulting biologist could be used if a restrictive covenant is registered on the property to ensure stream protection measures are enacted. The proposed development concept and site plan currently show development and clearing occurring within the 30-metre riparian setback; mitigation is likely required to reduce the impacts of the development on the stream habitat.

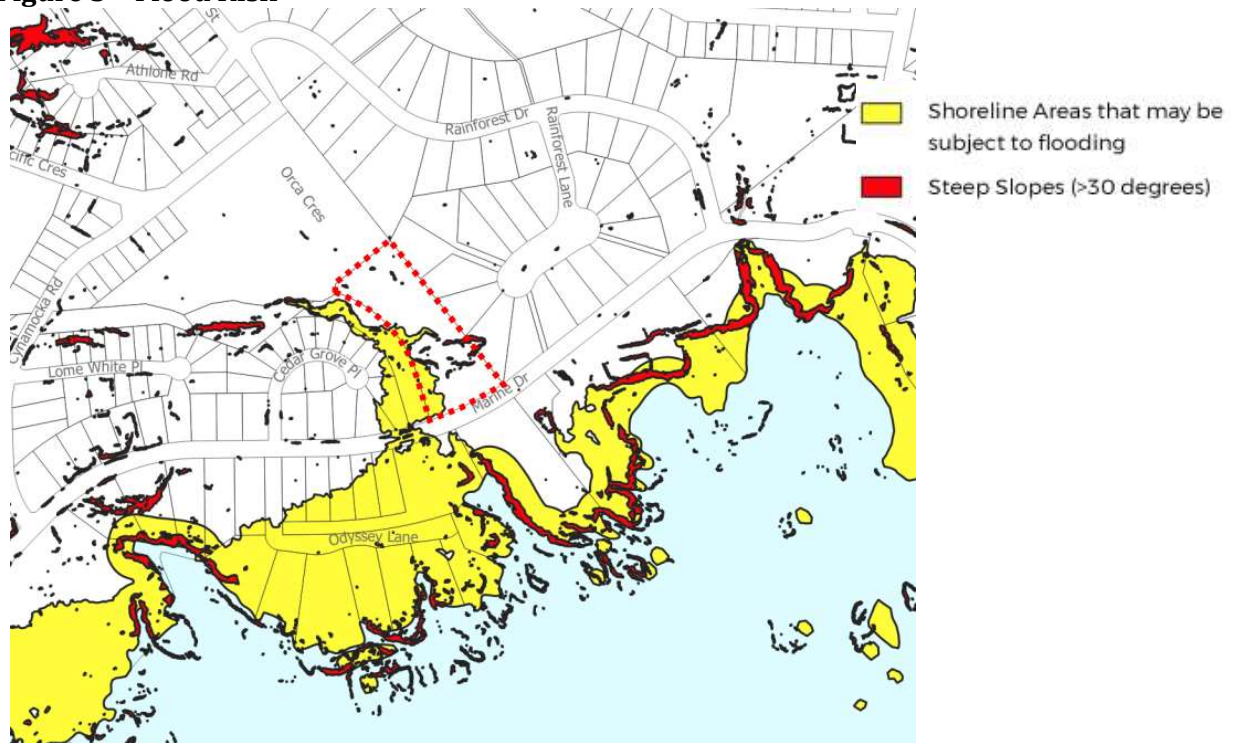
Figure 2 - Watercourses



As shown in **Figure 3**, taken from “Schedule G – Hazardous Conditions Development Permit Areas” of the draft OCP, the streamside portion of the property is also located in an area that may be subject to flooding. The current development concept shows several of the thirty-three (33)

affordable micro lots located in areas of the southwest corner of the property at risk of flooding. Again, mitigation is likely required to reduce the risk of flood impacts on future residents, especially as flooding risks may increase in the future due to climate change.

Figure 3 – Flood Risk



3.2.2 Alignment with District of Ucluelet Zoning Bylaw

The property in question falls under the Comprehensive Development 5 (CD-5C.1.2) – OceanWest / Affordable Housing zone. The principal and secondary uses permitted on Lot 13 under this zoning, include:

1. Principal:
 - (a) Affordable Housing
2. Secondary:
 - (a) Multiple Family Residential

As per Zoning Bylaw No. 1160, 2013, “secondary permitted uses are only permitted in conjunction with a principal permitted use though the principal permitted use in this case may be developed on-site, or off-site if developed in conjunction with the secondary permitted uses.”

As discussed, the proposed development requires a rezoning. This will require developing a new zone to permit the creation of thirty-three (33) affordable micro lots and a higher overall maximum lot coverage. The new zone would also need to establish new lot, density, size, height and setback regulations to facilitate this development. Additionally, as portions of this development would

occur within the 30m riparian setback under Section 306.2(1)(b) of the zoning bylaw, a section 219 restrictive covenant would need to be registered on title to ensure protection of the SPEA, in order to relax the requirement to a 10m Streamside Protection and Enhancement Area (SPEA) setback, measured in horizontal distance perpendicular from the high-water mark.

3.2.3 Summary

The current proposal for Lot 13 presents something of a departure from the affordable housing as it was envisioned on the property in 2005. Though the development proposal meets several objectives of the OCP and Master Development Agreement, such as the provision of affordable units and encouraging alternative housing options, it does not directly meet the standards stated in these documents. Notably, it does not meet the OCP and MDA objectives for the number and type of affordable housing units required, DPA requirements for site development and building construction, and requirements for housing to be managed and administered by a not-for-profit housing organization. Further, as this development format will likely require more land to construct, the proposal also limits the potential for low-impact site development and the preservation of environmental features as described for Development Permit Area No. 8 (Former Forest Reserve Lands). The more land-intensive approach of creating thirty-three (33) affordable micro lots also has potential to negatively impact the 1.33m fish bearing stream adjacent to the property and expose future residents to higher flood risk; mitigation of these elements would need to be assured through the detailed design and approvals for this development.

The proposed type of housing (modular homes) were not initially envisioned as the mechanism or form of affordable housing for this site. However, it suggested that if these units were to meet a high standard of energy efficiency and the intent of the DPA No.8 form and character guidelines they would be an acceptable format for affordable housing.

As discussed, the development proposal also does not adhere to current zoning, which suggests development on Lot 13 should be multi-family in nature. Thus, the proposed development of thirty-three (33) affordable micro lots requires a rezoning to create a new zone with affordable micro lots.

3.3 Alignment with District Objectives for Affordable Housing

The following section reviews how the application for affordable housing on Lot 13 does and does not meet the District of Ucluelet's objectives for affordable housing.

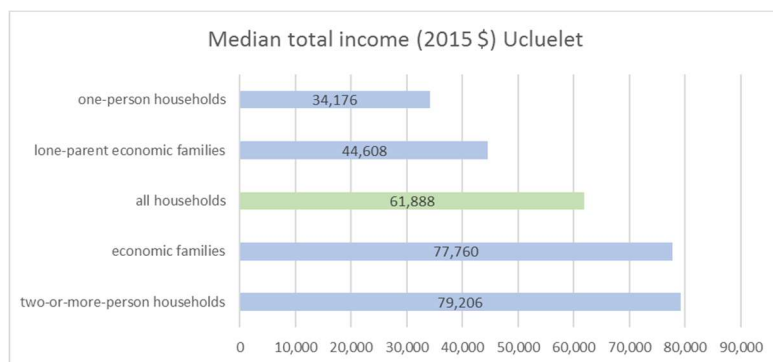
Following the initial review of this application, there are some elements of the development application that may meet the District's objectives for affordable housing, as well as several items which need to be clarified or adjusted to ensure the viability and long-term sustainability of the project.

As noted, the developer APMC Holdings Ltd. is proposing to partner with BC Housing to undertake the 'for purchase' portion of the development on Lot 13; however, they have yet to establish the conditions of this agreement. BC Housing has reviewed the application and the proposed affordability mechanisms in the application and has suggested they are supportive but require additional details of how these units will be vetted, delivered and sold. Further, additional details are required on the affordable rental portion of the development and mechanism to deliver and maintain these units.

ACMC Holdings Ltd.'s proposed affordability pricing definitions for the affordable rental housing and affordable home ownership portions of the development include:

- **Affordable Rental Housing** – rents costing no more than *30% of the median household income for the region*; and
- **Affordable Home Ownership** – an initial sale price to support an annual mortgage payment equivalent to no more than *30% of the median household income given a 10% down payment at the current posted mortgage rates on a five-year term*.

Fundamentally, ACMC Holdings Ltd.'s proposed rental pricing of costing no more than *30% of the median household income for the region* does not directly meet the objectives of the District's OCP; although it does meet some BC Housing and CMHC definitions of affordable housing. Moving forward, the proposed pricing definitions for the affordable rental and affordable home ownership elements of the development could still support the creation of a long-term affordable housing resource; provided these affordability metrics are enforced through a housing agreement and covenant on title (and in perpetuity for the rental portion).



Though the proposed pricing strategy is supportable, more information is needed on the type of housing suggested to ensure it meets the long-term sustainability goals of the District as described in the OCP. Importantly, the District needs to ensure the units will be energy efficient: high energy costs are likely to reduce affordability for end users. However, technologies supporting modular housing have advanced substantially over the last decade and now prefabricated homes are seen as a robust and cost-competitive alternative to constructed housing.

Finally, the developer has requested a Development Cost Charge (DCC) waiver or reduction for the proposed development, which is not possible at this time. In order for any DCC waiver or reduction to be provided, the District is required by legislation to first adopt a separate DCC Waivers and Reductions Bylaw. This DCC Waivers and Reductions Bylaw would then outline the conditions and requirements by which the DCCs, as established in the current DCC Bylaw, could be waived or reduced for any qualifying development (for reference, see the attached white paper on *Best Practices for Affordable Housing Delivery*, in **Appendix B**).

Moving forward, the ACMC Holdings Ltd. proposal for affordable housing development on District Lot 13 requires further clarity on how it will ensure the viability and long-term sustainability of the affordable housing once its constructed.

3.4 Alignment with Best Practices for Developing and Maintaining Affordable Housing

The following provides direction for how the current application for Lot 13 could be evolved to better meet the housing affordability objectives of the District.

Best practices for delivering affordable housing suggest the applicant should outline clear approaches for the long-term maintenance and management of the housing once developed, including:

- proposed rents and rent increases;
- asset replacement and maintenance reserves;
- mechanisms for ensuring affordability (i.e. rents never to exceed definition of affordable); and
- preferred options for building design and construction (i.e. energy efficiency).

In consideration of this application it is also important to consider the longevity of any affordable housing units constructed, including any asset management implications for the repair and replacement of units. Notably, ensuring that the affordable housing provided is energy efficient to ensure that the units are truly affordable for the residents living there, and built to withstand the challenging coastal weather conditions of Ucluelet.

The long-term operation and management of the property should also follow a model that will ensure the viability of this housing resource in perpetuity. Again, the developer has suggested that ACMC Holdings Ltd., in partnership with the District of Ucluelet, will be the owner and operator of any affordable rental units provided. In this approach the units would be maintained at an affordable level through a covenant (enforced by the District) on the specific units that are below market rent. There are several challenges with this approach as the affordability criteria, such as rental increases, are challenging to meet without financing and partners. Further, as there is little incentive for the developer to maintain the assets, the District will ultimately be responsible for the oversight and enforcement of affordable rents, resident vetting process and asset maintenance until such time a non-profit operator can take over. For these reasons it is suggested that the District and the developer

The estimated DCC's for the proposed 33-lot subdivision would amount to \$425,106. This equals 33 lots x \$12,882 single family DCC. The current DCC bylaw does not include a separate rate for small or micro lots. The demand on infrastructure for small houses on small lots is arguably less than for a typical larger home. For comparison, the DCC rate for a multi-family unit is currently \$9,720 which would reflect a similar demand on infrastructure. If the 33 units were developed as townhouses, the total DCC fee would be \$320,760.

should consider engaging a third-party non-profit operator to manage the rental portion of the development.

As a bare land strata or rental property, the owners would be responsible for the full cost of operation, maintenance and replacement of all on-site utilities and assets. In the discussion of a DCC waiver to reduce development costs, consideration should also be given to other options for how the District could support the long-term costs for affordable housing developments, and not just the initial construction costs. Staff suggest that an analysis of the potential for private vs. municipal servicing (roads, sewer, drainage, lighting) should compare lifecycle cost and the best place to focus public infrastructure dollars and its effect on the long-term affordability of this neighbourhood.

4.0 CONCLUSIONS

In its current form, the affordable housing development proposed for Lot 13 may have the potential to meet the intent of the District of Ucluelet's land use regulations or objectives for affordable housing. This development proposes a departure from the framework for affordable housing put in place in 2005. It is important to note that framework has not resulted in the successful delivery of any affordable housing units in Ucluelet over the past 14 years. Staff therefore support taking a fresh look at the intent and the details governing how the affordable housing will be delivered on Lot 13.

Some clarification is required on the current rezoning application and development concept to ensure the future development of this site will provide the type of affordable housing required by the community. Importantly, further effort is required from all parties to refine the mechanism by which the affordable housing gets implemented and the details of the Housing Agreement. Additionally, further work is required to determine how best to operate and maintain any affordable rental housing provided on Lot 13, to ensure it remains a viable resource for affordable housing in perpetuity.

4.1 Proposed Direction

The District will continue to work with ACMC Holdings Ltd. to further refine the development concept and create a long-term strategy for the ongoing management and operation of this site so that it remains a well-maintained and reliable source of affordable housing. The process going forward should work to accomplish the following:

- Ensure any proposed development on Lot 13 is primarily composed of affordable rental housing.
- Confirm the pricing thresholds for the affordable rental housing and affordable home ownership portions of the development on Lot 13 based on feedback from Council and the developer on the need or willingness to meet the District's OCP definition of being no more than *30% of the household income for a household earning 80% of the median household income for the region.*
- Ensure any proposed development on Lot 13 will remain affordable rental housing in perpetuity through a covenant that maintains rents at a rate based on the agreed upon pricing definition for the affordable rental housing portion of the development.

- Ensure there is a realistic plan in place to manage and maintain any affordable rental housing developed on Lot 13, so that it remains affordable, well maintained and livable in perpetuity.
- Ensure the long-term maintenance and replacement of infrastructure assets will be adequately funded; consider options for both private and public ownership of utilities and assets.
- Ensure that the design and building form of any affordable housing provided on Lot 13 meets the tangible housing needs of the community based on the social, demographic and household composition of those in need of housing.
- Ensure that the design and building form of any affordable housing provided on Lot 13 meets a high standard of energy efficiency, so future residents are not burdened by high energy costs.
- Ensure any proposed development on Lot 13 meets the intent of District land use regulations, including relevant policies in the OCP, OCP Development Permit Areas and the Zoning Bylaw, including:
 - Regulations related to the protection of streams and natural features on or near the property, including adherence to riparian setbacks, ecosystem and tree preservation regulations and low impact development;
 - Regulations to protect development from hazardous conditions, such as flooding; and,
 - Regulations pertaining to building siting and design.

4.2 Next Steps

The following are the next steps in the application and process of development approvals for Lot13:

1. Rezone the property and establish a housing agreement, and potentially develop a DCC Waivers and Reductions Bylaw to support the application;
2. Issue a Development Permit for the proposed micro-lot subdivision;
3. Amend the Master Development Agreement as it applies to the Weyerhaeuser remainder lands, to acknowledge the “credit” for affordable units delivered;
4. Discharge the existing Restrictive Covenant from Lot 13; and,
5. Complete the Subdivision process including registration of new Housing Agreement and Housing Affordability Covenants on property titles.

4.3 Options Review:

Andrew McClane of ACMC Holdings has invested time and money in taking a creative look at the development of affordable housing on Lot 13, and is proposing something different than was originally envisioned; a for-profit development of affordable housing. Staff see potential for this to deliver housing units which would broaden the spectrum of housing supply and benefit a significant number of households in the community. Further detail is required to determine whether the concessions sought by the developer pose a good deal for the community and meet the original intent for this land. Staff recommend that this proposal be advanced and seek those details to inform further decisions on Lot 13.

Should this development not proceed, the covenant, MDA and zoning for affordable housing would still apply to Lot 13 and it is expected that a future proposal may come forward for the development of affordable housing on the property. At this time, staff recommend that council initiate the preparation of a zoning amendment bylaw and seek further details from the applicant as discussed in this report. Alternatively, Council could consider the following:

4. **THAT** Council provide alternative direction to Staff and/or the applicant; **or**,
5. **THAT** Council reject the application.

Respectfully submitted: Bruce Greig, Manager of Community Planning
Mark Boysen, Chief Administrative Officer

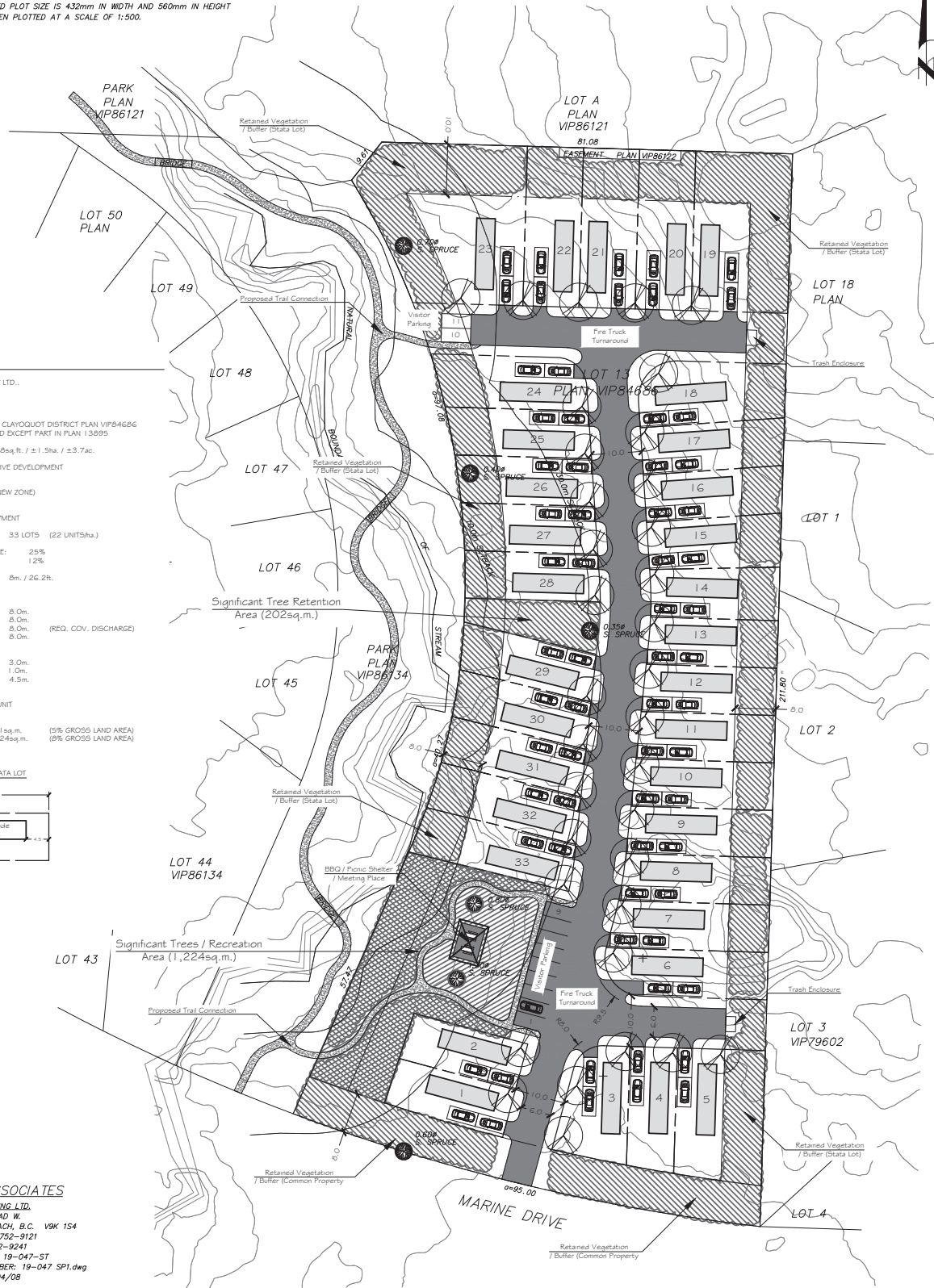
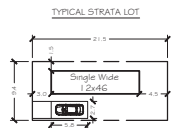
SITE PLAN OF LOT 13, DISTRICT LOT 283, CLAYOQUOT DISTRICT, PLAN VIP84686.

APPENDIX A

0 2 4 6 8 10 20 30 40 50
 THE INTENDED PLOT SIZE IS 432mm IN WIDTH AND 560mm IN HEIGHT
 (C SIZE) WHEN PLOTTED AT A SCALE OF 1:500.

SITE PLAN DATA

REGISTERED OWNER: WEYERHÄEUSER COMPANY LTD.
 CIVIC ADDRESS: NONE
 LEGAL DESCRIPTION: LOT 13 DISTRICT LOT 283 CLAYOQUOT DISTRICT PLAN VIP84686 PARCEL ADD 52792IN) AND EXCEPT PART IN PLAN 138595
 SITE AREA: ± 15,038sq.m. / ± 161,866sq.ft. / ± 1.5ha. / ± 3.7ac.
 CURRENT ZONING: CD-5C1.2 - COMPREHENSIVE DEVELOPMENT
 PROPOSED ZONING: MICRO LOT RESIDENTIAL (NEW ZONE)
 OCP LAND USE DESIGNATION: COMPREHENSIVE DEVELOPMENT
 DENSITY: PROPOSED: 33 LOTS (22 UNITS/ha.)
 PROPOSED SITE COVERAGE: 25%
 AS ILLUSTRATED: 12%
 BUILDING HEIGHT: PROPOSED 6m. / 26.2ft.
 BUILDING AND STRUCTURE SETBACKS:
 OVERALL PROPERTY: 6.0m.
 FRONT: 6.0m.
 REAR: 6.0m. (REQ. COV. DISCHARGE)
 SIDE: 6.0m.
 EXTERIOR SIDE: 6.0m.
 INDIVIDUAL STRATA LOTS:
 FRONT: 3.0m.
 SIDE: 1.0m.
 REAR: 4.5m.
 OFF-STREET PARKING: 1 STALL PER RESIDENTIAL UNIT
 OUTDOOR RECREATION AREAS:
 MINIMUM: 751sq.m. (5% GROSS LAND AREA)
 AS ILLUSTRATED: 1,224sq.m. (8% GROSS LAND AREA)



SIMS ASSOCIATES
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 PHONE: 250-752-9121
 FAX: 250-752-9241
 FILE NUMBER: 19-047-ST
 DRAWING NUMBER: 19-047 SP1.dwg
 DATE: 2019/04/08

REVISION SCHEDULE		
#	Date	NOTES
0	MAY 2019	PRELIMINARY CONCEPT
1	MAY 2019	REVISED PER DISTRICT INPUT

Micro Lot Residential Option
 Date: May 9, 2019
 Drawn: Staff
 Checked: NG
 Scale: 1 : 400 metric
 Project Number: 19-0239
 DRAWING NUMBER: S1 of 1

Lot 13 - Ucluelet
A. McLane
 District of Ucluelet, BC

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Lot 13 Ucluelet

Zoning Amendment Application: Planning Framework Report



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July 22, 2019

Lot 13 - Ucluelet | Zoning Amendment Application: Planning Framework Report

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Lot 13 - Ucluelet | **Planning Framework: Opportunities and Constraints Report**

July 22, 2019

Bruce Greig, Manager of Community Planning

District of Ucluelet

200 Main Street

Ucluelet, BC V0R 3A0

Attention: Bruce Greig

Re: Zoning Amendment Application – Lot 13 Ucluelet

MacDonald Gray Consultants has been retained by the property owners to provide planning services in support of a Zoning Amendment to 'the land' described as Lot 13 within the District of Ucluelet, British Columbia. The property owner has been working collaboratively with District Staff to create a for-profit ground oriented affordable rental and for purchase housing proposal. The proposed micro-lot manufactured housing form is intended for local area residents. Manufactured housing neighbourhoods provide a sound financial alternative to traditional ground oriented rental housing with all of the convenience and amenities that come with being a part of a community.

Modular construction is also more environmentally responsible because it generates less building waste than traditional construction. This type of construction also minimizes on-site environmental impacts, including noise, dust and waste during construction periods. Manufactured housing is becoming a highly desirable and viable housing option for individuals of families with low to moderate incomes.

The community vision as expressed in the Official Community Plan (OCP) has been integrated into our natural systems based design process, which is a collaborative approach to site planning. Environmental, physical and architectural considerations have been woven together to create a Land Use Concept, which is the basis for our Zoning Amendment proposal. The preservation of significant trees and a generous retained landscape buffer has also been incorporated into the Land Use Concept.

The resulting micro lot neighbourhood concept offers the District of Ucluelet a unique opportunity to realize an affordable residential node that respects neighbouring properties and maintains the existing the character of adjacent tourist commercial properties.

The proximity of this property to community amenities like Big Beach Park, Wild Pacific Trail, Coast to Coast Trail and the Ucluelet Community Centre is ideal. The Village Square Core area is within walking distance, which makes the area an ideal location for future tenants to enjoy the benefits of a west coast lifestyle. We are looking forward to continuing our collaboration with District Staff and Council to create an example of appropriate affordable manufactured housing development.

Sincerely,

Nigel Gray, MCIP, RPP, MBCSLA
Principal Planner / Project Manager
Macdonald Gray Consultants

1.0 INTRODUCTION

ACMC Holdings Ltd. of Qualicum Beach, British Columbia is proposing a (33)thirty-three micro lot residential affordable housing development on Lot 13. The property is 1.5hectares (3.7acres) in size.

The owner wishes to make an application to the District of Ucluelet (District) for the purpose of accommodating this new land use on the parcel. This report and Zoning Amendment Application has been prepared based on a comprehensive review of the planning framework currently in place for the project site as well discussions between the property owner, District Staff and members of Council.

An opportunity and constraints analysis was conducted based on existing site conditions including geotechnical realities, topographic features, existing vegetation and servicing considerations. These items are attached to this report in order to illustrate the findings of the opportunities and constraint analysis and a proposed development framework.

2.0 SITE DESCRIPTION

2.1 TOPOGRAPHY

Contours have been interpolated from available Lidar information **Opportunities and Constraints Plan, attached as Appendix 'A'**. Topography varies from steeply sloping to relatively flat. Elevations range from a high point of 22metres to a low point of 12metres along Marine Drive toward the northwest corner of the lands.

2.2 SERVICING

A preliminary Servicing Report is included with this application, as prepared by Park City Engineering Ltd.

2.3 GEOTECHNICAL DATA

The owner has completed a Geotechnical Assessment of the Property. The report indicates, *"From a geotechnical point of view, the land is considered safe for the use intended..."*. Please refer to the Geotechnical Assessment (report), as prepared by Lewkowich Engineering Associates Ltd., included with the application for additional detail.

2.4 EXPOSURE AND VIEWS

The site generally has a southwest exposure with little view potential toward the Pacific Ocean to the south and west.

2.5 SITE HISTORY

The lands have remained unimproved with the exception of some clearing for construction access road into the site.

3.0 LOCATION IN RELATION TO COMMUNITY FACILITIES

3.1 FIRE PROTECTION

The Ucluelet Fire Dept is located at 1520 Peninsula Road. The Fire Hall is 1.1 kilometres or a 2minute drive from the lands.

3.2 POLICE

A Royal Canadian Mounted Police detachment is located at 1712 Cedar Road. The Detachment is 1.6 kilometres or a 4minute drive from the lands.

3.3 HEALTH

The Ucluelet Health Centre is located at 1566 Peninsula Road. The centre is 1.3 kilometres or a 3minute drive from the lands.

3.4 TRANSPORTATION ROUTES

The lands are located directly adjacent to Marine Drive, which is an existing looping collector road that connects to Peninsula Road via Matterson Drive. Peninsula Road is the primary arterial road through Ucluelet.

A multi use pathways were recently installed along Marine Drive and Matterson Drive connecting the lands to the Village Square core area and waterfront parks.. **Excerpt from Ucluelet OCP , Schedule 'D' – Transportation Network, attached as Appendix 'C'.**

3.5 PUBLIC TRANSPORTATION

BC Transit currently does not operate bus routes in close proximity to the lands and has not adopted plans for future service expansion in the surrounding neighborhoods.

The Ucluelet Bus Depot is located in Murray's Grocery at 1980 Peninsula Road. The Depot is 750metre or a 9minute walk from the lands. Greyhound, Island Link and Tofino Bus provide intercity commercial bus service from this location.

3.6 COMMERCIAL SERVICES

The plan area is 1kilometer from Village Square core area services on Peninsula Road by way of a 10minute walk.

3.7 RECREATIONAL

The subject property is directly across Marine Drive from Browns Beach and short walk to Big Beach Park and the existing multi use pathways along Marine Drive (parallels the Wild Pacific Trail) and Matterson Road (portion of the Coast to Coast Connection route).

Excerpt from Ucluelet Parks & Recreation Master Plan, Figure 6 – Coast to Coast Connection, attached as Appendix 'D'

The Ucluelet Community Centre is located directly at the intersection of Marine & Matterson Drive a 7-minute walk from the site. The Centre offers a wide array of programs from Latin dance classes to roller hockey and outdoor basketball courts.

Ucluelet Secondary is a 15minute walk from the site and provides a number of after hours recreation activity including a running track, field space, basketball courts and a BMX park.

3.8 SCHOOLS

A number of elementary schools are within proximity of the lands including English and French Immersion programs.

North Island College – Ucluelet Centre located at 1636 Peninsula Road is 750metres or a 9minute walk from the lands. The centre offers university transfer, diploma and adult basic education programs.

Table 1: Nearby Elementary Schools and Capacities (2017)

School	Grade Levels	Walking Distance	Driving Distance	Current Enrolment /Trend
Ucluelet Elementary School	K - 7	11 min 850m	2 min 850m	156 / slight increase
Ucluelet Secondary School	8-12	6 min 450m	2 min 450m	160 / decreasing

4.0 EXISTING USE

The lands fall within the District of Ucluelet Municipal boundary. The current land use framework is described in the following sections.

4.1 DISTRICT OF UCLUELET BYLAW NO. 1160, 2013

An underlay of existing zoning is included in an **Excerpt from District of Ucluelet Schedule A – Zoning Map, attached as Appendix 'E'**.

The Zoning District is:

Comprehensive Development 5 (CD-5C1.2) – OCEANWEST / Affordable Housing

4.1.1 BASE DENSITY:

Based on our interpretation of Section 203, Comprehensive Development Zones, which “are provided for historical reference, interpretation and informational purposes only”, we have had

Lot 13 - Ucluelet | **Planning Framework: Opportunities and Constraints Report**

to make assumptions in our interpretations. The base land use and density available on a separate parcel referred to as 'Lot 1' appear to be dependent on the provision of affordable housing on Lot 13.

"Lot 13 is intended for Affordable Housing (which may include some of all of the density bonusing component of the CD-5A Subzone Lot 3 development)."

No density figure is provided under Section CD-5C1.2.

Table 2: Zoning & Land Use Densities

Zoning Districts	Permitted Land Uses	Planning Unit / ha	Minimum Parcel Size	Maximum Density (units/ha)
CD-5C1.2	Principal: Affordable Housing	Not Defined in Zoning Bylaw	1.0ha. (2.5ac)	Not defined in Zoning Bylaw
	Secondary: Multiple Family Residential		12,140sq.m. (3.0ac)	80 Dwelling Units (5C - Zone Wide)

4.1.2 RELEVANT LAND USE INTERPRETATIONS:

"**Affordable Housing**" means residential housing under the terms of a housing agreement with the District pursuant to section 905 of the Local Government Act;

"**Multiple Family Residential**" (or "MFR") means a building, or group of buildings on the same lot, each containing three or more dwelling units, for residential use only and specifically excluding commercial tourist accommodation, on a lot which includes a minimum useable outdoor recreation/ amenity space of:

- (a) 16 m² per bedroom when in the R-2 Zone;
- (b) 20 m² per bedroom when in the R-3 Zone;
- (c) 8 m² per bedroom when in all other Zones (including the residential component of the mixed residential/commercial and mixed residential/industrial uses);

5.0 ADJACENT USE

Land use adjacencies within District are described in the following sections. Table 3, below provides a brief overview of adjacent Zoning Districts.

5.1 DISTRICT OF UCLUELET BYLAW NO. 1160, 2013

An underlay of adjacent zoning is included in an **Excerpt from City of Ucluelet Schedule A – Zoning Map, attached as Appendix 'E'**.

The adjacent Zoning Districts include:

Comprehensive Development (CD-2B)

The lands are included in the overall CD-2 zone plan which includes a mix of uses that include: hotel, neighbourhood pub, multi-family residential, resort condominiums and single family dwellings.

Comprehensive Development (CD-5C Subzone) Development Area 3 - OCEANWEST

"2014 Update: There has been subdivision and some development, named "OceanWest", of the east half of this SubZone. Plan VIP84686 created 36 lots with Lots 13-36 in this SubZone.

Lot 13 is intended for Affordable Housing (which may include some of all of the density bonusing component of the CD-5A Subzone Lot 3 development).

Additional single family dwelling, multiple family dwelling and other uses remain to be subdivided and developed in accordance with the original development concept, including another lot dedicated to affordable housing."

Manufactured Home Park (MH)

"This Zone is intended for residential use of manufactured home parks in accordance with the District's related bylaws."

6.0 REGULATORY STATUS

6.1 DISTRICT OF UCLUELET OFFICIAL COMMUNITY PLAN (OCP)

It should be noted that 2016 Official Community Plan Consultation is currently underway which may result in changes to the current land use designations and policy context. An underlay of OCP Future Land Use Designations is included in an **Excerpt from District of Ucluelet OCP Scheldue 'A' Map, attached as Appendix 'F'**.

The proposed land use for the lands is **Comprehensive Development**.

6.1.1 RELATED OCP COMPREHENSIVE DEVELOPMENT POLICIES:

1. Public access to the water in all CD areas is supported, encouraged and intended to be secured including through agreement and dedication;

Not Applicable.

2. District Lots 281 and 282 are designated as Comprehensive Development. Although the existing CD zoning permits a range of mixed-use including resorts, and multi-family units, the lands contained within these two District Lots have primarily been developed as low density residential; these lots may be redesignated and rezoned in the future to reflect the variety of uses established without further amendment of this OCP;

This policy appears to permit a zoning amendment (rezoning) to any of the CD-5C uses without a concurrent OCP amendment process.

Lot 13 - Ucluelet | **Planning Framework: Opportunities and Constraints Report**

3. The area on Seaplane Base Road, surrounding the Recreation Hall, is designated for Comprehensive Development and identified as a potential Industrial swing area. If additional industrial lands are required, only those uses that need water access will be considered for this area;

Not applicable.

4. The area on Minoto Road north of Peninsula Road is designated for Comprehensive Development. This area is envisioned primarily as a residential community with significant tree retention. The shoreline is recognized as having important ecosystem values. A greenbelt should be maintained along the shoreline;

Not applicable.

5. In order to support the viability of future resort type developments within the Comprehensive Development and Tourist Commercial designations, Hyphocus Island and Francis Island are targeted instead for Residential development. This reflects the desired future use as primarily clustered residential communities with substantial tree retention and significant public open space. These areas are not intended for private marina or significant commercial, tourist commercial or resort development, though Council may consider redesignation on advancement of a comprehensive plan that retains more land and provides more community amenities;

Not applicable.

6. Acknowledge the private ownership of Francis Island by permitting up to one single family residential dwelling, without secondary suite, B&B, vacation rental or tourist commercial uses; Encourage and explore means of preservation, and maximum tree retention, with limited public access, including as an amenity for more intensive development of adjacent lands;

Not applicable.

7. For areas of land higher than 20 to 30 metres above sea level, development, park dedication and public/open space should be coordinated with the District's Emergency Plan when considering the potential for public vistas, integrated with the multi-use pathway, Wild Pacific Trail and road network, as well as muster areas within a close walk of development areas;

Not applicable.

8. The number of District-owned and operated sewer pump stations should be minimized, and;

Refer to servicing study.

9. Non-potable water should be used, where practical, for golf course and park irrigation.

Refer servicing study.

6.2 DEVELOPMENT PERMIT AREAS (DPA)

The following District of Ucluelet DPA is applicable to the lands:

6.2.1 WEYERHAUSER (DPA #8);

This DPA is applicable to areas of the lands as identified on the **Excerpt from District of Ucluelet OCP, Schedule 'C' – Map, attached as Appendix 'G'**. The DPA is established for the purposes of:

- Protection of the natural environment, its ecosystems and biological diversity;
- Protection of development from hazardous conditions; and,
- Establishment of objectives for the form and character of development in the resort region.

The following professional reports will likely be required to accommodate any form of development application:

- Geotechnical Assessment;
- Bio-Inventory & Environmental Impact Assessment;
- Tree Survey & Vegetation Management Plan;
- Archaeological Assessment;
- Landscape Preservation Plan;

7.0 TITLE – CHARGES, LIENS AND INTERESTS

7.1 RIGHT OF WAYS:

FB238771 – Mulberry Park Developments Ltd. Easement over Lot 13. The location of the easement has been included on the current survey base plan.

7.2 COVENANTS:

EX125879 – District of Ucluelet. To ensure development is in accordance with the conditions of the Master Development Agreement (MDA). This document is complex and would merit a separate analysis by legal counsel.

FB49737 – District of Ucluelet. Modification of EX125879 above to include Schedule 'A' (Appendix "A") Master Development Agreement. There appears to have been some clerical oversight in the previous covenant.

The covenant language describes conditions of the development and various amenities including restrictions on multiple family residential and resort condominium development until affordable housing is provided.

FB154804 – District of Ucluelet. To ensure all development is above 3.0m above the natural boundary of the sea and 'save harmless' clauses to exclude liability for the District in the event of a Tsunami.

FB154853 – District of Ucluelet. Setback Area / Greenspace Covenant. For the purposes of this Covenant:

"Set Back Area" means the area of lands inward from each of the respective lot lines of the boundary of the area marked building envelope as set out on the surveyor sketch plan appended hereto as Schedule "A" as determined in accordance with the terms of the District of Ucluelet CD5 Zoning Bylaw in force at the date of this agreement..."

Setback areas shall only be used for greenspace or driveways and shall be preserved in a natural state.

An Arborist report is required at the time of development.

The setback areas are illustrated on the attached **Sketch Plan**, refer to **Appendix 'K'**.

FB154873 – District of Ucluelet. Provision of Affordable Housing. To be discharged upon the provision of n Affordable Housing Agreement.

FB154882 – Weyerhaeuser. Developer's Building Scheme. Design approval must be obtained from Weyerhaeuser.

8.0 PROPOSED LAND USE

8.1 AFFORDABLE MICRO LOT RESIDENTIAL (NEW ZONE)

These are intended to be affordable micro lot single family residential lots for local residents.

Individual lot layout concepts are provided for discussion purposes to illustrate how the uses could be accommodated on a lot.

The following draft zoning template is based on existing District regulations.

8.1.1 PERMITTED USES TO INCLUDE:

Principal Land Uses	Secondary
Single Family Dwelling (a)	Home Occupation
	Secondary Suite

a. A single family dwelling may be a modular or manufactured home.

8.1.2 LOT REGULATIONS:

Principle Use	Minimum Lot Size	Minimum Lot Frontage	Minimum Lot Depth
Single Family Dwelling	200sq.m.	9m.	n/a

8.1.3 DENSITY:

Principle Use	Maximum Density	Maximum Floor Area Ratio	Maximum Lot Coverage
Single Family Dwelling	1 per lot	0.5	45%

8.1.4 MAXIMUM HEIGHT:

Building Type	Maximum Height
Single Family Dwelling	10.0m.
Accessory Buildings & Structures	5.0m.

8.1.5 MINIMUM SETBACKS:

Building Type	Front Yard	Rear Yard	Side Yard Interior	Side Yard Exterior
Single Family Dwelling	3.0m.	4.5m.	1.0m.	1.0m.
Accessory (a)	7.5m.	1.5m.	1.0m.	1.0m.

- a. In addition, accessory buildings and structures must be located to the rear of the front face of the principal building.

9.0 EMBEDDED AFFORDABILITY**9.1.1 FOR-PROFIT AFFORDABLE RENTAL HOUSING**

For the purposes of this development the following definitions of affordability are applicable:

affordable means annual housing costs (rent or mortgage and taxes) which do not exceed 30% of a household's gross annual income (assuming home ownership costs include a down payment of 10%, mortgage principal and interest amortized over 25 years and taxes);

affordable housing means housing which, under the terms of a Housing Agreement with the District, would have a market price that would be affordable to households of low and moderate incomes. Households of low and moderate income are those which have incomes that are 80% or less than the median household income in the District as reported by Statistics Canada;

9.1.2 REQUESTED DEVELOPMENT COST CHARGE WAIVER / AFFORDABLE HOUSING AGREEMENT

Section 563 of the *Local Government Act* permits Local governments to waive charges for-profit affordable rental housing, a subdivision of small lots designed to result in low green house gas emissions and development designed to result in a low environmental impact.

We are requesting that the Development Cost Charges (DCC) that would otherwise be applicable if the unit or building did not meet the definition of affordable (above) will be waived in the amount of 100%. This would reduce the overall development costs and improve the economic viability of the development as 'affordable'.

In order to secure the DCC waiver, the developer is willing to enter into an affordable housing agreement that guarantees the affordable use for a period to be determined by the District from date an occupancy permit is granted.

A Bylaw accompanying this Zoning Amendment will need to be adopted that further defines the categories of eligible development and specifies the degree to which the charges will be waived or exempted.

9.1.3 MODULAR / MANUFACTURED HOUSING

Manufactured housing neighbourhoods provide a sound financial alternative to traditional ground oriented rental housing with all of the convenience and amenities that come with being a part of a community. Modular construction is also more environmentally responsible because it generates less building waste than traditional construction. This type of construction will also minimize on-site environmental impacts, including noise, dust and waste, during construction periods.

Manufactured housing is becoming a highly desirable and viable housing option for individuals of families with low to moderate incomes.

The Canadian Mortgage and Housing Corporation (CMHC) describes the efficiency and cost savings associated with this type of housing as follows:

Often called modular or pre-fabricated homes, this type of housing is manufactured in factory-controlled conditions and then brought to the building site, either in sections or as a whole, for installation and finishing. The indoor manufacturing process offers a number of cost-saving advantages:

- *A climate-controlled environment allows construction to take place year-round without the delays and extra costs associated with extreme weather and temperature changes.*
- *Computer-aided design and manufacturing ensures efficient use of building materials, facilitates the scheduling of workers and enables bulk purchasing of materials, while permitting customization of the end-product.*
- *Various components of the house can be built simultaneously, resulting in faster construction times.*
- *Material losses and theft are reduced, since manufacturing facilities tend to be more secure than construction sites.*
- *The use of precise manufacturing equipment and processes can improve air-sealing and overall quality control.*

10.0 PROPOSED COVENANT MODIFICATIONS

10.1.1 DISCHARGE OF EXISTING COVENANTS:

We are proposing to discharge the following covenants as a function of the Zoning Amendment Process:

EX125879 – District of Ucluelet. To ensure development is in accordance with the conditions of the Master Development Agreement (MDA).

This document will no longer be relevant to Lot 13 upon completion of the rezoning and the concurrent establishment of alternate legal protections to secure the affordable housing conditions.

FB49737 – District of Ucluelet. Modification of EX125879 above to include Schedule 'A' (Appendix "A") Master Development Agreement.

See notes on Covenant EX125879 above.

FB154853 – District of Ucluelet. Setback Area / Greenspace Covenant. For the purposes of this Covenant:

We are proposing to modify the setback areas to a uniform 8.0m setback around the entire property. Setback areas shall only be used for greenspace or driveways and shall be preserved in a natural state.

FB154873 – District of Ucluelet. Provision of Affordable Housing. To be discharged upon the provision of an Affordable Housing Agreement.

FB154882 – Weyerhaeuser. Developer's Building Scheme. Design approval must be obtained from Weyerhaeuser.

The building scheme is no longer relevant to the property and Weyerhaeuser will no longer be the 'Developer'.

10.1.2 ESTABLISHMENT OF NEW COVENANTS:

Setback / Landscape Buffer Area Covenant. We are proposing a new covenant to secure the proposed landscape buffer areas for Lot 13 at a uniform 8.0m setback around the entire property. Setback areas shall only be used for greenspace or driveways and shall be preserved in a natural state.

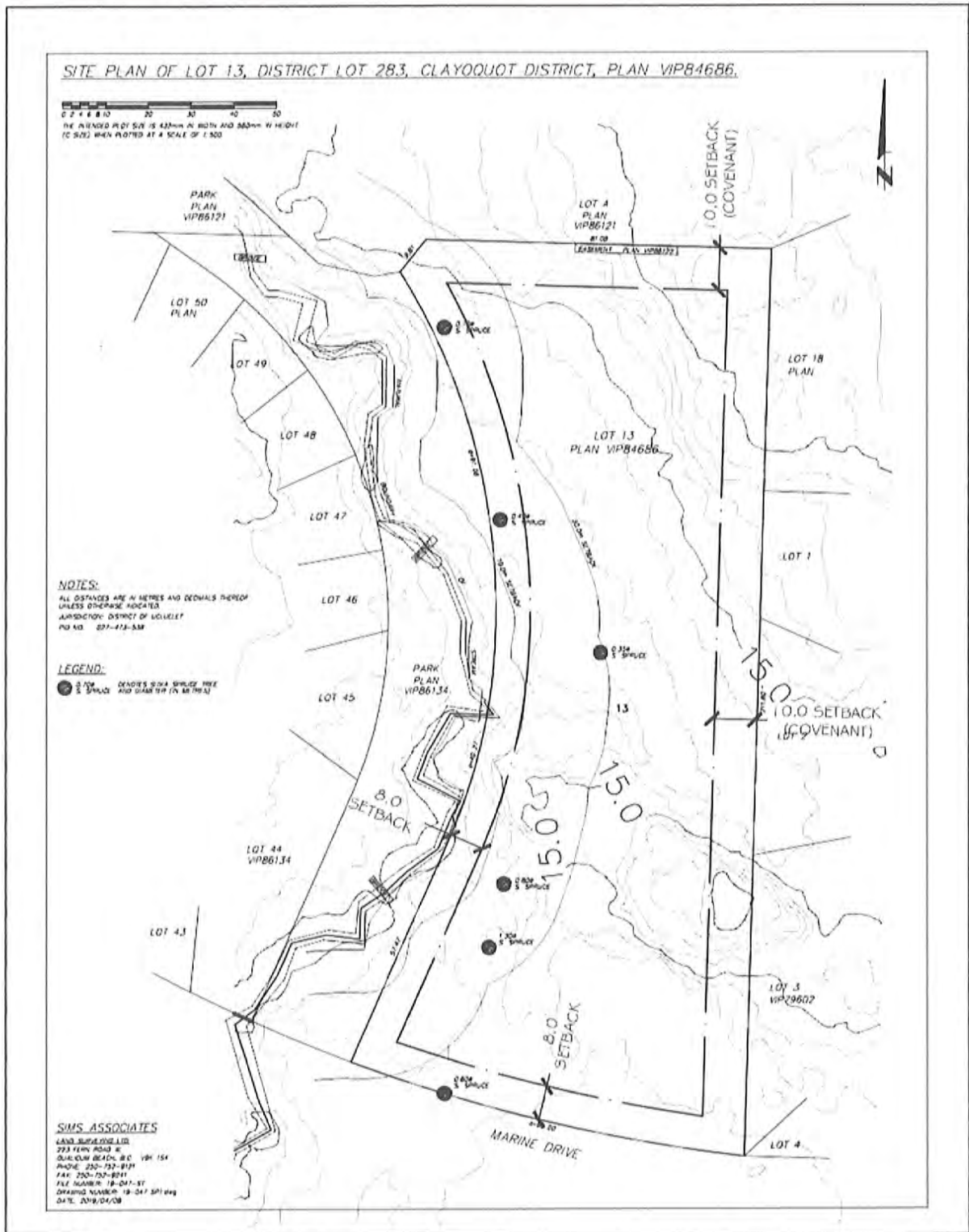
Alternatively the 8.0m setback / Landscape Buffer Area could be included as a regulatory condition of the Zoning District at the discretion of District Staff.

Note that the Streamside Protection and Enhancement Area (SPEA) setbacks will be secured through the Development Permit Process with the inclusion of the recommendations of the Qualified Environmental Professional (QEP) report in the terms of the Permit.

10.1.3 AFFORDABLE HOUSING AGREEMENT

An affordable housing agreement will be negotiated during the Zoning Amendment Application Process to the Satisfaction of District of Ucluelet Staff and Council. This agreement is intended to satisfy the conditions of Covenant FB154873 which would be subsequently discharged.

11.0 APPENDIX 'A' - OPPORTUNITIES & CONSTRAINTS



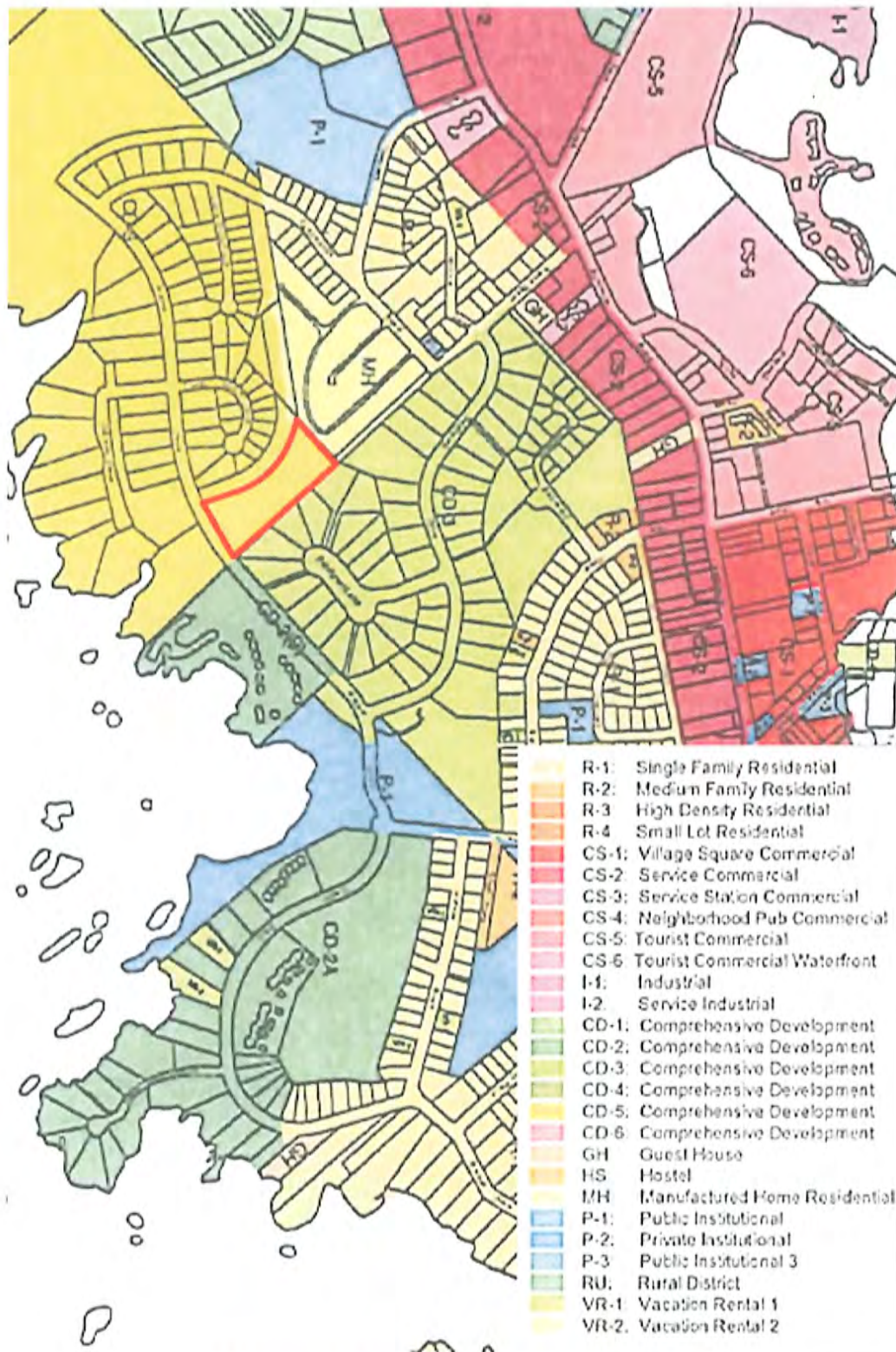
12.0 APPENDIX 'C' - TRANSPORTATION NETWORK



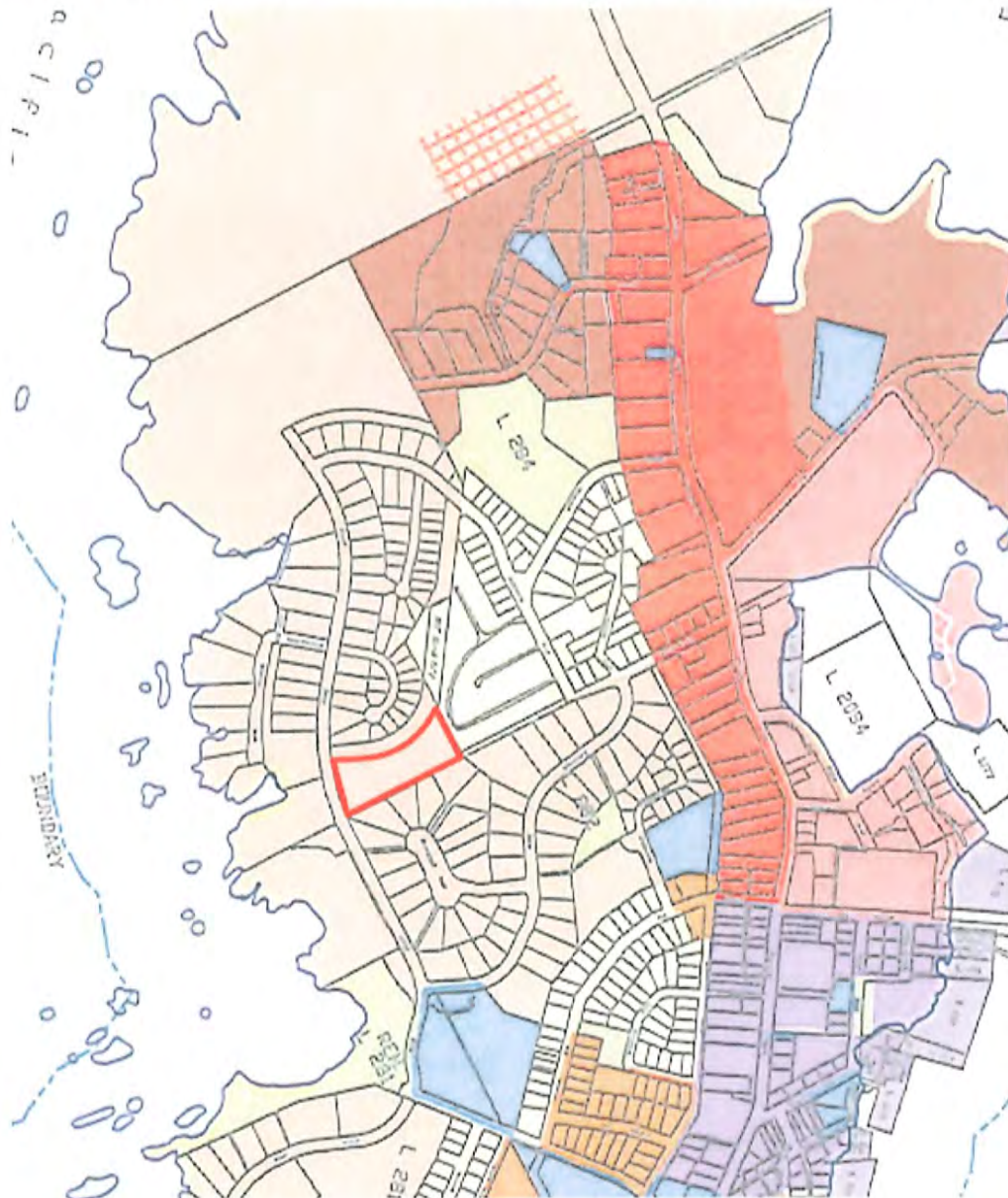
Legend

- | | |
|-----------------------------|------------------------------|
| Arterial - Existing | Multi Use Pathway - Existing |
| Collector - Existing | Multi Use Pathway - Proposed |
| Collector - Proposed | Wild Pacific Trail |
| Pedestrian Trail - Proposed | |

13.0 APPENDIX 'E' - ZONING MAP



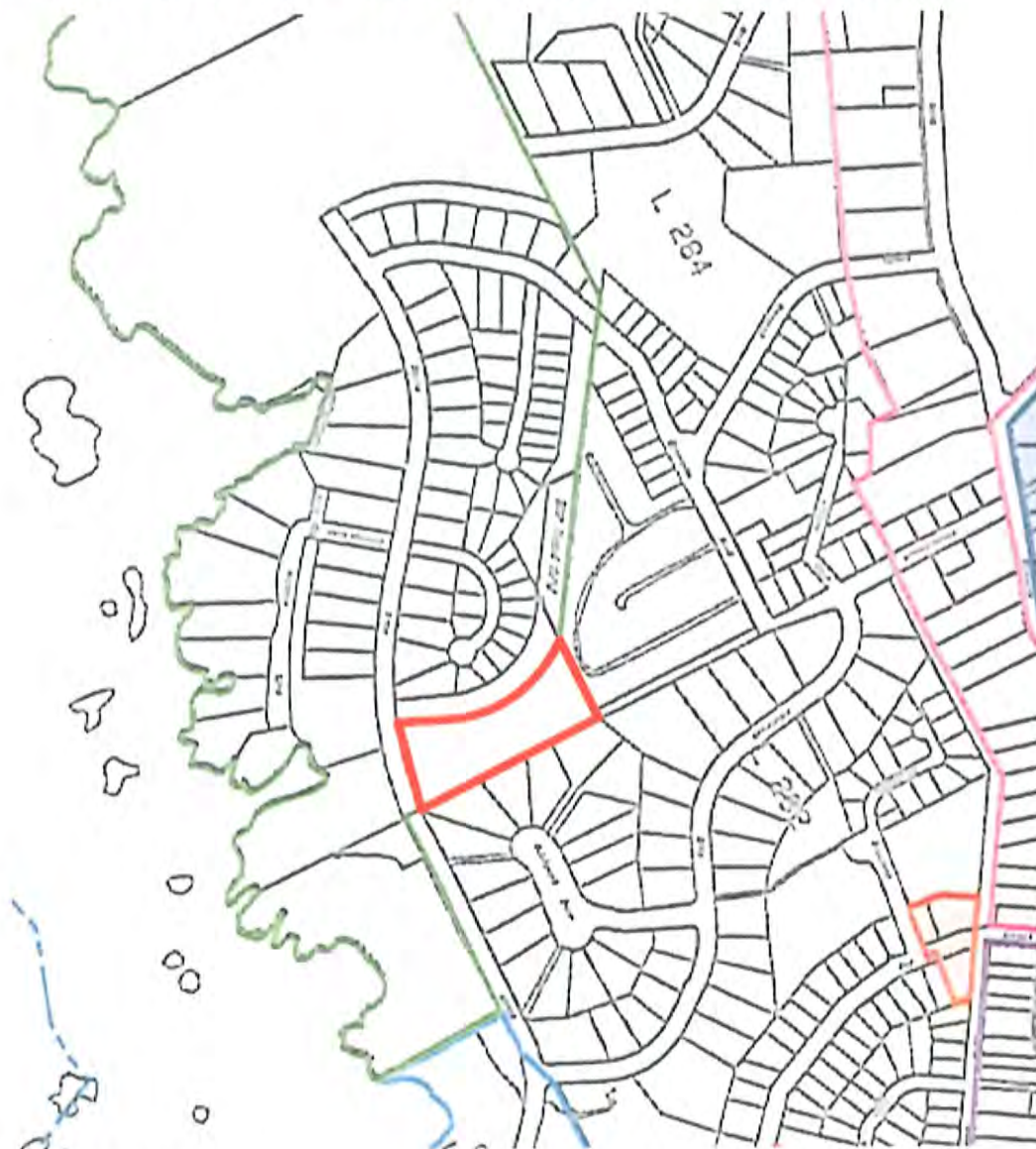
14.0 APPENDIX 'F' - OCP LAND USE DESIGNATIONS



Legend

- | | | |
|-----------------------------|---------------------------|---------------|
| Residential - Single Family | Industrial | Proposed Park |
| Residential - Multi Family | Industrial - Swing | |
| Village Square | Comprehensive Development | |
| Tourist Commercial | Parks and Open Space | |
| Service Commercial | Water Lot | |
| Institutional | Small Craft Harbour | |

15.0 APPENDIX 'G' - DEVELOPMENT PERMIT AREAS



Legend

- | | |
|---------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
|  #1 Village Square |  #7 Peninsula Road |
|  #2 Imperial Lane |  #8 Weyerhaeuser |
|  #3 Reef Point |  #9 Multi-Family Residential |
|  #4 Hyphocus Island | |
|  #5 Lot 281 | |
|  #6 Inner Boat Basin | |

16.0 APPENDIX 'H' - TSUNAMI SAFE ZONES



17.0 APPENDIX 'I' - PARKS



18.0 APPENDIX 'J' - GOOGLE AIRPHOTO



19.0 APPENDIX 'K' - LAND USE CONCEPT





Tuesday, July 16, 2019

FILE NO. 229-004

MacDonald Gray Consultants
814 Shorewood Drive
Parksville, BC
V9P 1S1

Attention: Mr. Nigel Gray

Re: Lot 13, VIP84686, DL 283
Clayquot District

It is our understanding that a servicing report is required to support the pending Application of Rezoning of the above referenced property to accommodate a residential development.

Existing Conditions

There are currently no structures on the property which is partially treed and drains from north to southwest. The access is from Marine Drive. There are currently stubs for a sanitary forcemain and a waterline to the property. There is an existing stream to the west of the site, which traverses through Park Plan VIP86121.

Proposed Site Development

The site plan provided by MacDonald Gray Consultants shows a proposed 30 unit micro lot residential development. An internal road would access from Marine Drive and run

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852 BREAKWATER ROAD, PARKSVILLE, BC V9P 1Z8

P: 250.248.3580

south to north. The servicing report is broken into the following categories listed below:

Water

Currently there is a District of Ucluelet 200mm DR18 C900 watermain on Marine Drive with a 150mm stub to the property, approximately 37m from the southeast property line. As shown on our proposed site plan, we would recommend extending the watermain into the property and servicing the propose units with a 1” service. One fire hydrant would be required halfway into the development. In order to do this without requiring a fire meter chamber, we would suggest the District own the watermains throughout the site. The Developer could provide a Statutory Right of Way over the watermains in order for the District to gain access for future maintenance and to read individual water meters.

Preliminary discussions with Koers & Associates have indicated the property is serviced from the Highway reservoir with a top water elevation of 65m geodetic. They also indicated there is roughly a 74 psi static pressure at the hydrant across the road on Marine Drive. This would then roughly translate to a 64psi static at the top of the Lot 13 property, which could easily service the residential lots.

Sanitary Sewers

As discussed previously the property drains/slopes from north to southwest. A gravity sanitary sewer system could be installed to a single pump station located near the front of the property (south). There is a 75mm forcemain stubbed to the property line which connects to a larger 200mm HDPE forcemain in Marine Drive. This main is fed from the Forbes Road pump station.

The proposed pump station for the Lot 13 residential development would be required to pump against the head of the Forbes road pump station. Sizes and pump requirements would be chosen during detailed design stage.

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Storm Drainage

The subject property drains from north to southwest and eventually drains into a stream located on the property to the west on Park Plan VIP86134. There are currently two perforated (French drains) that run from east to west in Marine Drive along the property frontage, which empty into the existing creek.

Given the nature of the soils in the area and the likelihood of a significant amount of rock, we don't anticipate the potential for infiltration of storm water. Even if there was, there would be a requirement to provide overflows to a pipe system due to the amount of rain the District typically gets during the wet season. There will be some increase from pre to post development, and we would suggest a series of tanks or detention pond, possibly an oil/water separator and outlet diffusion to control the storm water runoff.

On-Site Roadway

The site plan provided by MacDonald Gray shows a 10m wide service corridor, with 6 to 8m wide laneways.

It is proposed the laneways would be gravel finish and not paved in order to reduce impervious surfaces and to enhance storm water infiltration throughout the development. Parking areas are also shown throughout the site for visitor parking.

BC Hydro/Telus/Shaw Cable

It is proposed to service the development with underground structures for these utilities.

We trust this provides you with our proposal for this property at this time, and should you require any further information to contact us at your earliest convenience.

Sincerely,
PARKCITY ENGINEERING LTD.



VAUGHAN ROBERTS, P.Eng.

PARKCITY ENGINEERING LTD.

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PARK CITY LAND MANAGEMENT, INC.

 105 SOUTH MAIN STREET, SUITE 100

 PARK CITY, UTAH 84301

Approved by: _____ Date: _____

 Reviewed by: _____ Date: _____

 Scaled: _____

No.	Date	Revisions

Client:

 ANDREW McLANE

 LOT 13, D/L283, VIP84686

 CLAYQUOT DISTRICT

Project: HOUSING SITE

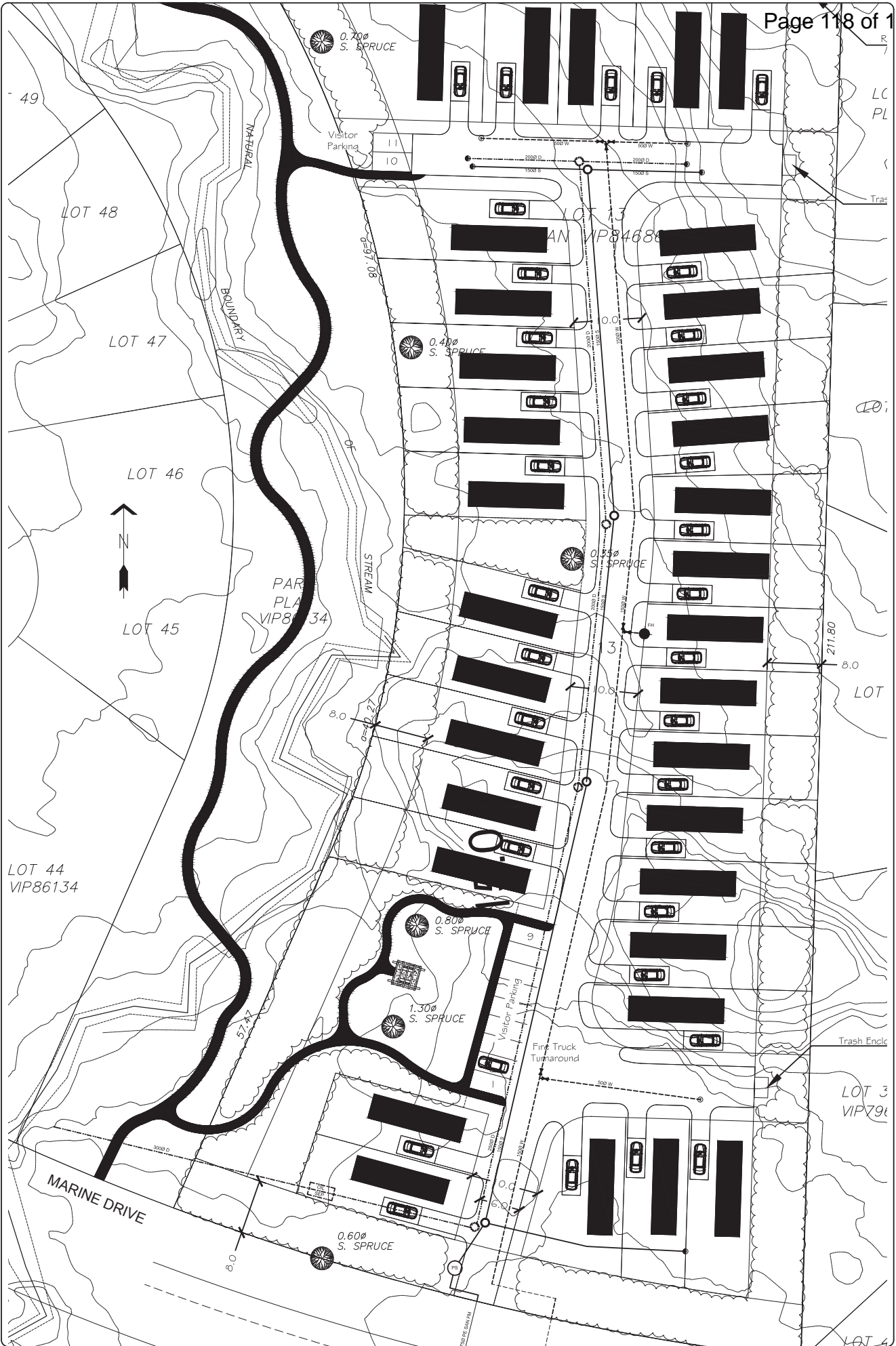
 PRELIM PLAN

Project: HOUSING SITE

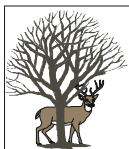
 PRELIM PLAN

Project: HOUSING SITE

 PRELIM PLAN



Lot 13 Marine Drive - Proposed Affordable Housing Bruce Greig, Manager o...



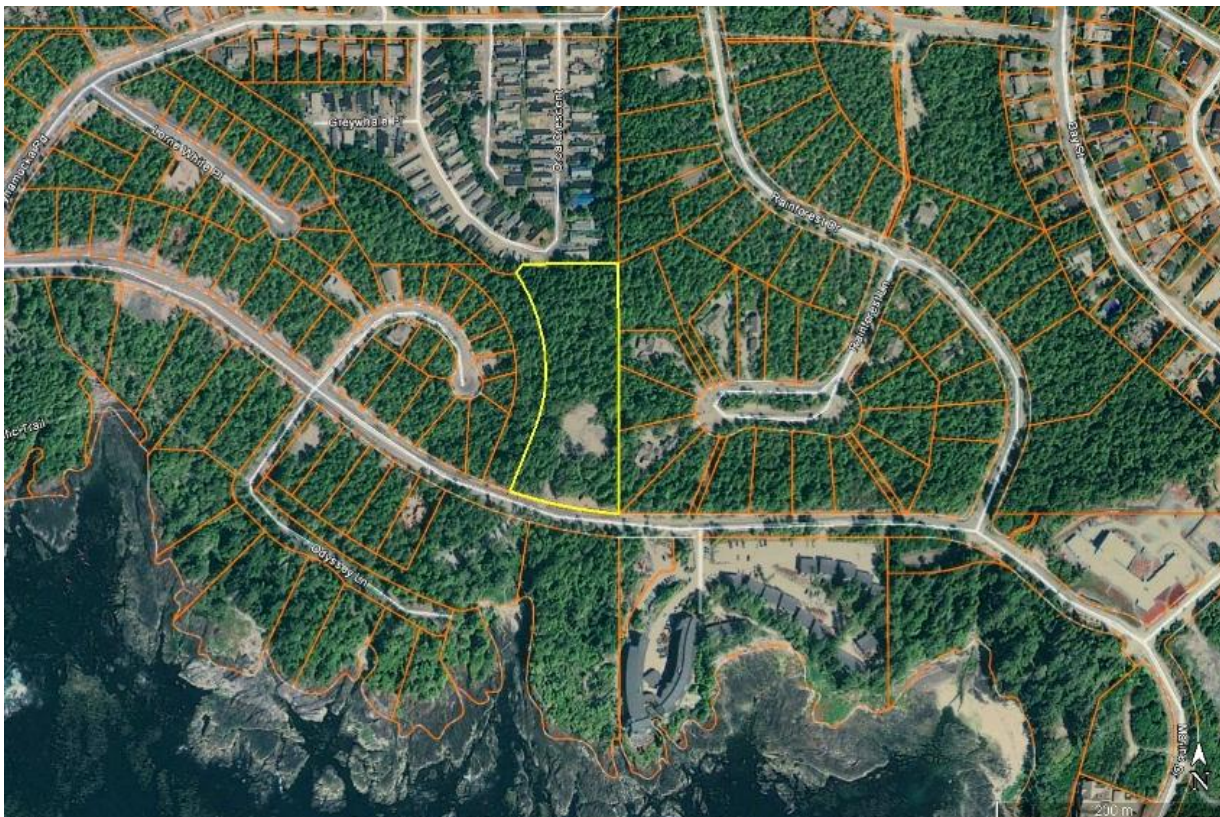
Toth and Associates Environmental Services

6821 Harwood Drive, Lantzville, B.C. V0R 2H0

Tel: (250) 390-7602

E-mail: stoth@shaw.ca

Environmental Assessment of proposed Affordable Housing development on Lot 13, Marine Drive (PID# 027-473-538), Ucluelet.



Prepared for:

Andrew McLane, Personal Real Estate Corporation

202-1551 Estevan Road,

Nanaimo, BC V9S 3Y3

Prepared by:

Steve Toth, R.P.Bio, ASCT

June 9, 2019

PROJECT SUMMARY INFORMATION

Qualified Environmental Professional (QEP) Information

First Name	Steve		
Last Name	Toth		
Designation	R.P.Bio, ASCT	Registration #	1788, 20057
Company	Toth and Associates Environmental Services		
Address	6821 Harwood Drive	Email:	stoth@shaw.ca
City	Lantzville	Postal/Zip:	V0R 2H0
Prov/state	BC	Country:	Canada
		Phone #	250-390-7602

Developer Information

First Name	Andrew		
Last Name	McLane		
Company	Personal Real Estate Corporation.		
Phone #	250.951.1141	Email	andrewmclane@shaw.ca
Address	202-1551 Estevan Road		
City	Nanaimo	Postal/Zip:	V9S 3Y3
Prov/state	BC	Country:	Canada

Development & Property Information

Development Type	Construction: Affordable Housing		
Lot Area (ha)	1.50	Nature of Development	New
Proposed Start Date	2019-07-01	Proposed End Date	2020-12-31
Civic Address	NA		
Local Government	District of Ucluelet	City:	Ucluelet
Legal Description (PID)	Lot 13, District Lot 283, Clayoquot District, Plan VIP84686 (PID: 027-473-538)		
Latitude	48	56	21
Longitude	125	33	25

Watershed Information

Stream Name	Unnamed Seasonal Watercourse	Fish-bearing	Yes
Stream/River Type	Stream	Fish on property	No
Watershed Code	NA		
Fish Species	Three-spine stickleback captured near mouth (August 2005, SECL)		

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1.0 INTRODUCTION

Toth and Associates Environmental Services have conducted a review of proposed development plans for Lot 13 (Figure 1) and completed field surveys to document environmental sensitivities on and adjacent to the 1.5 ha subject property. It is our understanding that the proposed development plans include construction of affordable housing on Lot 13. The subject property is located within the District of Ucluelet's Former Forest Reserve Lands Development Permit Area (DPA No. 8). The following report addresses the DPA 8 guidelines as detailed in the District of Ucluelet Official Community Plan Bylaw No. 1140, 2011 with consideration of Zoning Bylaw No.1160, 2013 and the Districts' Draft Official Community Plan (OCP).

2.0 BACKGROUND REVIEW

2.1 Review of Zoning Bylaw No.1160, 2013

Schedule A of the Zoning Bylaw No.1160, 2013 indicates that Lot 13 is within Comprehensive Development – 5 (CD-5, Former Weyco Forest Lands). The Zoning Bylaw's subzone maps indicate Lot 13 is designated AFFORDABLE HOUSING CD-5C.1.2. The following uses are permitted on Lot 13, in the area of the CD-5C Sub-Zone Plan labeled "Affordable Housing" and portions of the undeveloped remainder in accordance with the Concept Plan but secondary permitted uses are only permitted in conjunction with a principal permitted use though the principal permitted use in this case may be developed on-site, or off-site if developed in conjunction with the secondary permitted uses:

- 1) Principal:
 - a) Affordable Housing
- 2) Secondary:
 - b) Multiple Family Residential.

Zoning Bylaw Section 306.2

In addition to minimum setback requirements of other parts of this Bylaw:

- 1) No building or structure may be placed, constructed, sunk into, erected, moved, sited, altered or enlarged within
 - a) 7.5 m (25 ft) on the upland side of the natural boundary of the ocean,
 - b) 30 m (98.5 ft) of the natural boundary of any other natural watercourse or source of water supply, except as expressly otherwise specified in a Zone, or in a registered covenant under section 219 of the *Land Title Act* in favour of the District or the Province. [Zoning Amendment Bylaw No. 1216, 2017].

2.2 Review of District of Ucluelet Official Community Plan Bylaw No. 1140, 2011

There are 9 Development Permit Areas designated under the District of Ucluelet Official Community Plan Bylaw (OCP). These are shown on Schedule C of the District's OCP and described in detail in Appendix B of the OCP. Lot 13 is identified as being within the Former Forest Reserve Lands Development Permit Area (DPA No. 8). DPA Guidelines specify the District's objectives and regulations for each area. All developments within a designated DPA require a Development Permit to be issued by District Council.

The Environmental Policies contained in Section 3.11 of the District's OCP indicates that "properties greater than 0.8 hectare in size will require an Environmental Impact Assessment to evaluate the

impacts of a proposed development on the natural environment and for the protection of developments from hazardous conditions”.

The DPA 8 Guidelines indicate that the form and character guidelines of DPA No.1 (except numbers 11-13), and the natural environment and protection from hazard guidelines of Appendix A - Riparian Areas Regulation are also applicable in this DPA designation, except as varied and supplemented with the DPA 8 Guidelines provided in Table 1, below. The Form and Character Guidelines 1 – 10 of DPA No. 1 are included in Table 2.

2.3 Appendix A Natural Environment / Protection from Hazard Guidelines

The Riparian Areas Regulation guidelines contained in Appendix A do not form a separate DPA, but are tied to the District’s existing DPAs via direction provided in the general information for each DPA stating “See Appendix A – Riparian Areas Regulation for additional details”.

Section 1.0 of Appendix A indicates that “*The Riparian Area Regulation (RAR) assessment methods are to be followed with additional consideration of cumulative impacts of development along the entire length of the stream or wetland*”. The information contained in Appendix A indicates that “*There will be a minimum setback of 5 meters on all streams in the DPA regardless of whether they are fish bearing or not, as they are corridors for animals*”.

The guidelines contained in Appendix A contain comments and requirements concerning:

- Siting, format and design considerations for trails;
- Provincial *Water Sustainability Act* requirements for instream works;
- Stormwater management;
- Environmental Assessment reporting requirements;
- Construction Sediment & Erosion Control Plan requirements;
- Drainage Management Plan requirements;
- Landscape Architect Viewscape Plan;
- Re-vegetation Plan requirements;
- Monitoring arrangements and recommendations

The Exemptions listed in Section 3.0 of Appendix A include:

- Emergency works;
- Invasive plant species removal;
- Planting of native vegetation according to a plan that adheres to provincial Best Management Practices;
- Works approved by the District of Ucluelet, Fisheries and Oceans Canada (FOC) and/or MOE with respect to installation of public utilities, sewer and water lines, stream enhancement, and fish and wildlife habitat restoration; and,
- Renovations to existing buildings and structures in or in close proximity to riparian areas provided the footprint of the building is not expanded and none of the list of activities under the definition of Development occur.

Figure 1. Conceptual Development Layout Plan for Lot 13

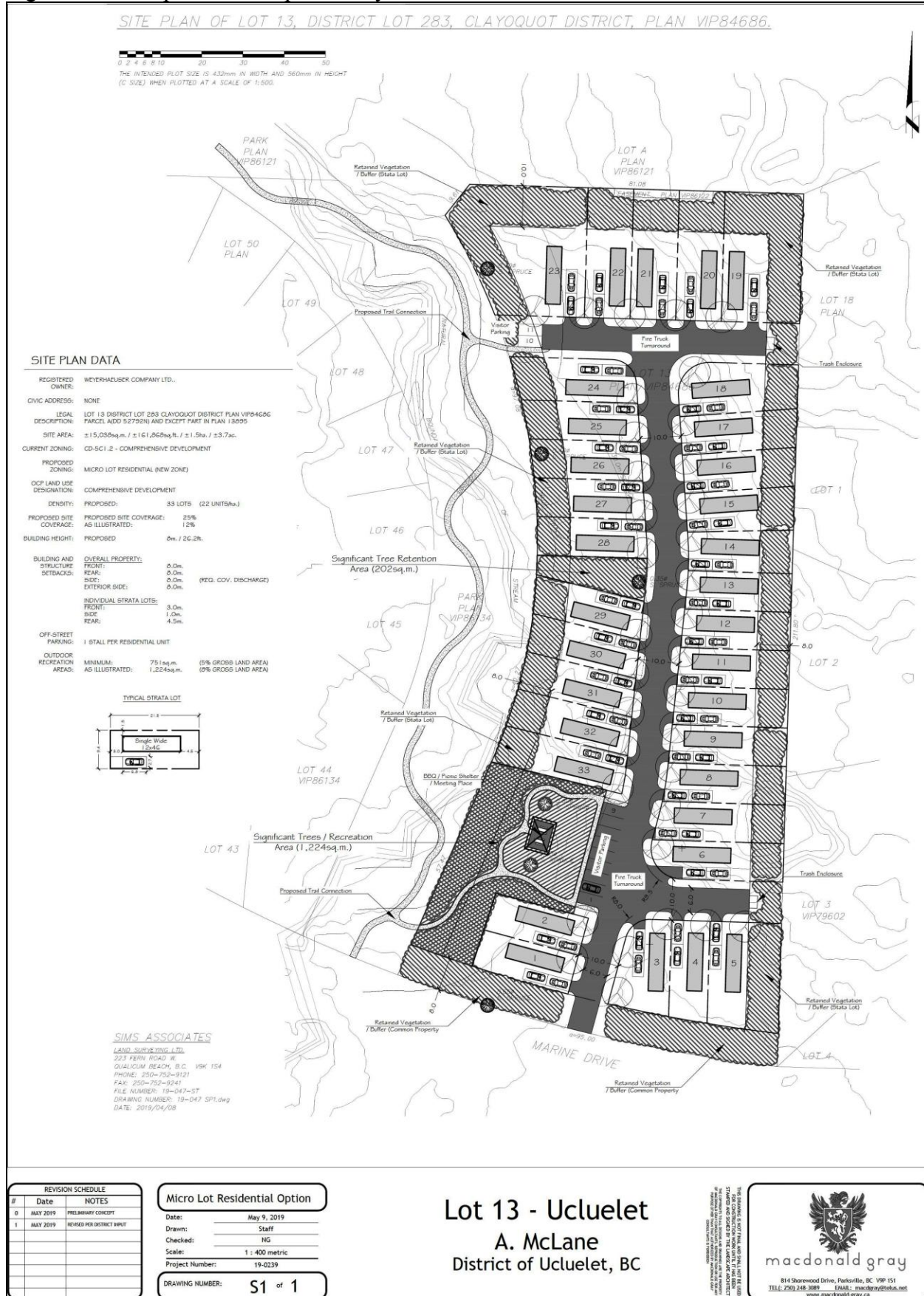


Table 1. DPA 8 Guidelines and Applicability

No.	Guideline	Applicability & Comments
1	All developments must preserve and maintain 100% of the Wild Pacific Trail along the coastline where feasible on properties located along the waterfront;	Lot 13 is not a waterfront property.
2	No development can approach within 30m of the high water mark around the sensitive marine wetlands indicated on the map below:	Lot 13 is not within 30 m of the sensitive marine wetlands.
3	A 30 metre wide tree buffer with no development must be provided along both sides of the Pacific Rim Highway;	Lot 13 does not front the Pacific Rim Highway.
4	The layout of the proposed collector through DPA No. 8 that runs parallel to the Pacific Rim Highway must respond to the natural conditions and topography of the land. Adequate vegetative buffering along the frontage of the road should also be retained to provide an attractive entrance into the community. A tree preservation plan should be a major priority in order to preserve this spectacular natural environment.	It is not apparent if this guideline applies to Lot 13 or not.
5	All developments should respect archaeological resources and comply with all relevant statutes and regulations for the protection thereof. The District may require, at their discretion, that the applicant provide at their own cost an archaeological assessment report;	Applicable – to be determined by the District.
6	All development, including campsites with no individual water supply or no individual sewage disposal facilities, must be connected to the municipal sanitary sewer system;	Applicable – to be supported by project design
7	Developments shall strive to create openness, connections, or views to the waterfront areas through open spaces or pathways. No development shall impede public access to the foreshore beyond private property boundaries;	Applicable – to be supported by project design
8	A landscape preservation plan for all developments must be included as part of the development application process in order to ensure protection of existing significant trees and shrubs. This will include plans showing pre and post-development conditions in order to prevent over-cutting;	Applicable – applies to preservation of significant trees (not defined) and native shrub vegetation.
9	The removal of any native tree species that is 30cm Dbh or greater (Diameter at Breast Height = 1.3m) measured with a proper tree calliper is prohibited.	Applicable – but not achievable. The field survey estimated that approximately 70% of the trees on Lot 13 are > 30 cm Dbh.
10	Any landscaping maintenance program must meet all applicable governmental regulations involving the use of fertilizers, herbicides and pesticides and the owners must ensure that no harmful pesticides or chemicals enter the ocean, either directly or by way of groundwater infiltration;	Applicable – will need to be addressed within the project Landscape Plan
11	All sitka spruce must be identified by a qualified arborist and, where they are determined to be healthy, preserved;	The field survey included identification of sitka spruce on, and adjacent to Lot 13
12	The siting of new buildings, extensions to existing buildings as well as campsites and roads etc. must work sensitively around established existing vegetation and must be located so as to minimize alterations to the foreshore and other environmentally sensitive areas. As part of the efforts to maintain and enhance the landscape character of the area, all efforts must be made to retain landscape and ecological integrity;	Applicable – will need to be addressed within the project's design layout, footprint, grading and Landscape Plan
13	In order to promote sustainable efforts in storm water drainage and ground water infiltration, minimal blacktop and hardscape paving should be used for driveways and patio areas, particularly in front yards. Gravel or grass driveways and wood decks are preferable;	Applicable – but likely not achievable. Use of pervious surfaces and rainwater infiltration / retention will need to be addressed within the project's design

No.	Guideline	Applicability & Comments
14	Any storm water drainage created and collected within this area must be screened for oil using oil separators.	layout, materials and Landscape Plan Applicable – to be included / identified in project design
15	Architectural form and character must be site sensitive to both the physical environment, as well as to the qualities of natural beauty in the area. Buildings should work with the natural environment on all levels.	Applicable – to be supported by project design
16	The exterior cladding of buildings must be of natural material and in keeping with the character of Ucluelet. Wood (particularly cedar) and stone are encouraged; the use of stucco, pebble dash cladding or the like is prohibited in DPA No.8.	Applicable – to be supported by project design
17	Roof material must be in keeping with the character of Ucluelet. This includes the use of cedar shake/shingle, asphalt roof tile, or corrugated metal.	Applicable – to be supported by project design
18	All commercial developments must provide robust visual buffers by way of retained native vegetation along all boundaries. In the case of those boundaries fronting the road, reasonable efforts must be made to retain significant trees and shrubs between access points; and,	Not applicable to the proposed development
19	Gated communities are not permitted. Developments are to be open and accessible, with easy traffic and pedestrian flow and minimal dead-end cul-de-sacs.	Applicable – to be supported by project design

Table 2. Form & Character DPA Guidelines 1 – 10

No.	Guideline	Applicability & Comments
1	Buildings and associated landscapes should be designed to reflect the west-coast fishing village character and cultural heritage of Ucluelet. Building designs should be contextual and compatible with the character, scale and form of those buildings on adjacent sites which meet these same guidelines. Features such as roof line and slope, maximum height, massing, form and articulation should be considered. Developments should also include the use of natural materials such as wood and stone, and landscaping which utilizes species native to the region. Contemporary designs which make these character references are encouraged.	Applicable – to be supported by project design
2	Where adjoining properties have uses of different intensity (e.g. single family next to multi-family residential) or different types (e.g. residential next to commercial) an appropriate architectural, building and landscaping transition must be provided.	Applicable – to be supported by project design
3	Developments shall strive to create openness, connections, or views to the waterfront areas through open spaces or pathways. No development shall impede public access to the foreshore beyond private property boundaries.	Applicable – to be supported by project design
4	New developments should enhance the network of adjacent public open spaces and trails that connect and cross through the area.	Applicable – to be supported by project design
5	Assessed on a case by case basis, general views to the harbour are to be maintained along the shoreline and include those depicted in Figure DPA 1.2 below and from the north side of Peninsula Road. This may be done through considerations in building massing and height in key locations.	Not applicable to Lot 13

No.	Guideline	Applicability & Comments
6	Building frontage design (any building elevation facing a public street) and associated public realm enhancement must create an attractive pedestrian environment. Considerations include: <ol style="list-style-type: none"> i. Easily identifiable building entrances; ii. Narrow commercial storefronts; and iii. Concentrating signage at pedestrian eye level. 	Applicable – to be supported by project design
7	Buildings should be sited close (e.g. 0 to 1.5m) of the lot boundary line associated with main entrance to development, with parking located at the rear of lots, if possible, and screened from street view with either a structure or landscaping, or where feasible, below grade;	Given the zoning and location, we are not certain whether this is a desirable feature for a multi-family residential development
8	Awnings, deep roof overhangs or colonnades should be incorporated into buildings in order to provide weather protection along sidewalks and at building entrances. These devices must be an integral part of the overall design;	Applicable – to be supported by project design
9	On corner sites, buildings must be designed with consideration for their visual prominence, potential use as reference points and their ability to contain and define streets. Additionally, developments occurring at corner lots must consider their prominence within the streetscape hierarchy and include architectural detailing or massing which reflects this. All developments located at a corner must occupy that corner on both sides;	Not applicable to Lot 13
10	The extensive use of blank walls (defined as any linear run of wall without fenestration or variation in its vertical plane for a given length), regardless of the material used, must be avoided. The visual impact of blank walls should be softened through the use of one or more of the following: <ol style="list-style-type: none"> i. Architectural detailing or facade articulation; ii. Graphic or artistic illustration; iii. The inclusion of doors and or windows; and iv. The design of integrated public seating and or planters integrated into the façade. 	Applicable – to be supported by project design

2.3.1 Section 2.1 of Appendix A - Assessment Report

An Assessment Report is required for the District of Ucluelet before development is approved to proceed. This must be completed by a Qualified Environmental Professional (QEP) at the developer's expense. The Assessment Report must provide the following components:

- Evidence of the QEP's qualifications (provided as Appendix A)
- Ensure that proper assessment methods will be followed
- Information regarding the following components: streams, fish presence, fish habitat, animal presence, riparian vegetation and other ecosystem conditions that support fish life processes, removal of hazard trees, windthrow, drip zone and rooting strength, encroachment, sediment and erosion control measures, floodplain concerns, and on-site stormwater management.
- Information regarding potential impacts of the proposed development, mitigation options and design alternatives
- Evidence that the development will not result in Harmful Alteration, Disruption, or Destruction (HADD) of riparian areas.
- Indicate that the slope stability will not be jeopardized if the area has a slope of 30% or more
- Identifies measures that will be required to maintain the integrity of the riparian area.

A QEP will determine appropriate setback distances for buildings, structures and uses, in relation to riparian areas. Setbacks specified in the Zoning Bylaw for buildings, structures and uses, may be varied in accordance with the recommendations of a QEP to minimize encroachment into the riparian assessment area. Applicants will be required to confirm, through survey by a certified BC Land Surveyor, the top of the stream bank in relation to the property lines and existing and proposed development. There will be a minimum setback of 5 meters on all streams in the DPA regardless of whether they are fish bearing or not, as they are corridors for animals. The QEP will use their own discretion to determine further setbacks or default to the "riparian assessment area" distances, as stated on page 2, in the *Riparian Areas Regulation*, July 27 2004.

For clarification, it should be noted that the "riparian assessment area" as defined by the RAR is the area adjacent to a stream that must be assessed by a QEP and considered in terms of potential development impacts on the riparian area. It is also a boundary where any proposed development (as defined under Part 26 of the *Local Government Act*) within the boundary triggers the requirement for a RAR Assessment. It is not a setback. The correct default would be to the Streamside Protection and Enhancement Area (SPEA) setbacks determined by the RAR's Simple Assessment Method.

A QEP will determine appropriate timing, usage, and methods of construction that minimize the impacts on the riparian assessment area. Permanent or temporary fencing measures may be required to be installed at the applicant's expense along the boundaries of the riparian area prior to any development activities in order to ensure that no encroachment occurs into the riparian assessment area at the time of construction.

A QEP will determine whether their presence is required during any riparian land alteration at the development site to ensure that HADD does not occur. As part of their enforcement, the QEP will only be responsible for areas they have assessed. More than one QEP may be involved with the development depending on their strengths or expertise. A QEP shall indicate in writing that all riparian area regulations have been met before the District of Ucluelet will issue occupancy permits.

2.4 Review of DRAFT OCP 2018

According to Schedule A (Long Range Land-Use Plan) of the Draft OCP 2018, Lot 13 DPA 5 is designated for Multi-Family Residential development.

Schedule E (Environmental Development Permit Areas) of the Draft OCP 2018 identifies a 30 m “Stream” Development Permit Assessment Area and “Terrestrial” Development Permit Assessment Area on Lot 13.

Schedule G (Development Permit Areas for Hazardous Conditions) of the Draft OCP 2018 identifies small areas along the southwest side of Lot 13 as “Shoreline Areas that may be subject to flooding” and a small area along the east side of the property identified as “Steep Slope (> 30 degrees).

2.4.1 Draft Guidelines Applicable to all Environmental DPAs

- 1) For all lands designated as one or more DP area, an assessment of the site, its natural features and the development shall be undertaken and a report prepared by a Qualified Environmental Professional (QEP) shall be submitted with the DP application;
- 2) the QEP report must contain any records listed in the BC Conservation Data Centre and must include data obtained from a search of the Ministry of Environment’s BC Species and Ecosystems Explorer for the categories “plants and animals” and “Ecological Communities” that includes all potential red listed, blue listed, and SARA listed species along with their Conservation Framework priority.
- 3) In cases of reporting after the fact due to managing emergency situations, the applicant shall provide an environmental report certified by a Qualified Environmental Professional (QEP), describing follow-up works to restore environmentally sensitive areas which were present prior to the emergency.
- 4) For all other circumstances, the applicant shall provide an environmental report certified by a Qualified Environmental Professional (QEP). The report must include:
 - a) A site plan certified by a B.C. Land Surveyor that locates:
 - i. the proposed development relative to DPA boundaries shown on Schedule E and property lines;
 - ii. the environmental sensitive areas as defined under the general definitions and any other significant or rare species or species assemblages found in the DPA as identified by the QEP;
 - iii. the applicable buffer or setback recommended by the QEP to separate the proposed development from the environmentally sensitive feature.
 - b) For activity or construction within the stream channel, documentation of Provincial and Federal approval, with supporting technical reports.
- 5) If the QEP report identifies environmentally sensitive areas (ESAs) not shown on Schedule E, then the applicant and the District shall treat those values as if they are shown on Schedule E for the purposes of applying requirements of the more specific environmental DPAs.
- 6) If the QEP report confirms that an environmental value relating to a DPA shown on Schedule E is not present or does not affect the subject property, then the applicant and the District shall treat the property as though it is not in the applicable DPA. This includes the case where a QEP determines that there is a physical barrier between the environmental feature and the subject property that creates a functional separation between the two.
- 7) Clustering of density is encouraged as a means for preserving environmentally sensitive areas.
- 8) For all projects that involve development within an ESA, the District shall require the applicant to post security at 125% of the cost of protection and/or restoration works.

- 9) The District may, as part of the development permit, vary the setback requirements from an ESA where it can be demonstrated in a less than desirable existing situation that a “net positive improvement” for fish or wildlife habitat will result, or, in a more desirable existing situation that “no net loss” will result, subject to municipal, Provincial and or Federal agency review and comment. Any reduction of setback distances within an ESA shall occur in accordance with the findings and recommendations of the technical/environmental report.

2.4.2 Draft Guidelines for Terrestrial Ecosystems (Mature Forest)

- 1) Development should be planned to avoid intrusion into DPA V areas and to minimize the impact of any activity on these areas.
- 2) Development permit applications that encroach on areas designated as DPA V should include a report prepared by a qualified environmental professional outlining the following information:
 - a) detailed site plan (1:250 or larger) identifying the location of property lines, proposed development and natural features including any Sitka Spruce, krummholz tree forms, nesting trees or wildlife corridors;
 - b) an impact statement describing effects of proposed development on the natural features and ecosystems on the site;
 - c) measures necessary to avoid wildlife conflict and any adjustments to the development plan where necessary to avoid established wildlife corridors;
 - d) guidelines and procedures for mitigating habitat degradation including limits of proposed leave areas;
 - e) recommendations for timing, construction standards, and where further assessment is necessary (e.g., seasonal nesting bird surveys),
 - f) habitat compensation alternatives, where compensation is approved.

2.4.3 Draft Guidelines for Stream and Riparian Areas DPA

- 1) Development or alteration should be planned to avoid intrusion into DPA VI areas and to minimize the impact of any activity on these areas.
- 2) Development permit applications that encroach on areas designated as DPA VI should include a report prepared by a qualified environmental professional outlining the following information:
 - a) detailed site plan (1:250 or larger) identifying the natural boundary and a line 30 metres from the natural boundary;
 - b) an impact statement describing effects of proposed development on the natural conditions;
 - c) measures deemed necessary to protect the integrity of streamside protection and enhancement areas from the effects of development;
 - d) guidelines and procedures for mitigating habitat degradation including limits of proposed leave areas; and,
 - e) habitat compensation alternatives, where compensation is approved.
- 3) Development permit applications should include a vegetation management plan indicating the extent of proposed buffer areas and the proposed management of vegetation in these areas.
- 4) Based on the biophysical assessment of the site within an area designated DPA VI, works or protective measures such as the planting or retention of trees or vegetation may be required to preserve, protect, restore or enhance stream, watercourses, fish habitat or riparian areas.
- 5) In the absence of a report from a qualified environmental professional, a minimum buffer of 30 metres should be preserved between the high water mark of the watercourse and any building or structure.

- 6) The total amount of impervious cover on property adjacent to a watercourse should minimize impact on the receiving aquatic environment. Consideration should be given to reducing impervious cover through reduction in building footprint and paved areas, exceeding the minimum riparian setback where feasible, and use of on- site infiltration.
- 7) The construction of a small accessory building such as a pump house, gazebo, garden shed or play house may be permitted if all the following apply:
 - a) The building is located within an existing landscaped area;
 - b) No native trees are removed; and
 - c) The area of the structure is not more than 10 m².

2.5 Additional Background Review Information

Our prior experience with the area includes wildlife and vegetation assessments conducted as part of the bio-inventories of Lots 3, 4, 5 and District Lot 283, Clayoquot District as a sub-consultant for Streamline Environmental Consulting Ltd. in 2005 / 2006.

2.5.1 Rare Species

Documented rare species occurrences in the vicinity of the Lot 13 were reviewed on the BC Conservation Data Centre’s (CDC) Imap (<http://maps.gov.bc.ca/ess/hm/cdc/>, accessed April 5, 2019). There was only one mapped record (#6777) for an occurrence of northern red-legged frog (*Rana aurora*) east of the subject property. Other documented species occurrences on the Ucluth Peninsula include blue-listed (threatened) dromedary jumping-slug (*Hemphillia dromedaries*), seaside centipede lichen (*Heterodermia sitchensis*), California wax-myrtle (*Morella californica*), and American water shrew (*Sorex palustris brooksi*) documented from the Tofino-Ucluelet Highway / Highway 4 intersection area.

The Ministry of Environment’s B.C. Species and Ecosystems Explorer site was searched for red and blue-listed species and ecological communities with potential to occur in the area. The search of animal and plant species was restricted to the Coastal Western Hemlock (CWH) biogeoclimatic zone occurring within the Alberni-Clayoquot Regional District. The search identified 53 animal species and 49 plant species. The search of ecological communities was limited to the southern variant of the Coastal Western Hemlock very wet hypermaritime (CWHvh1) biogeoclimatic zone occurring within the Alberni-Clayoquot Regional District. The search returned 15 ecological communities with potential to occur in the area.

The lists of animal and plant species and ecological communities was refined to exclude species that are known not to occur within the area based on known spatial limits of distribution, life history and habitat requirements. The refined lists include 10 animal species (Table 3) and 7 plant species (Table 4) with potential to occur on the subject property. All of the plant species are fungi or lichens that currently have very little distribution or habitat information and are therefore provided by default.

Table 3. Listed animal species potentially occurring in the study area

Scientific Name	English Name	COSEWIC	BC List
<i>Accipiter gentilis laingi</i>	Northern Goshawk, <i>laingi</i> subspecies	T (Apr 2013)	Red
<i>Aneides vagrans</i>	Wandering Salamander	SC (May 2014)	Blue
<i>Contopus cooperi</i>	Olive-sided Flycatcher	SC (May 2018)	Blue
<i>Falco peregrinus pealei</i>	Peregrine Falcon, <i>pealei</i> subspecies	SC (Dec 2017)	Blue

<i>Glaucidium gnoma swarthi</i>	Northern Pygmy-owl, <i>swarthi</i> subspecies		Blue
<i>Hemphillia dromedarius</i>	Dromedary Jumping-slug	T (May 2014)	Red
<i>Megascops kennicottii kennicottii</i>	Western Screech-Owl, <i>kennicottii</i> subspecies	T (May 2012)	Blue
<i>Oncorhynchus clarkii clarkii</i>	Cutthroat Trout, <i>clarkii</i> subspecies		Blue
<i>Patagioenas fasciata</i>	Band-tailed Pigeon	SC (Nov 2008)	Blue
<i>Rana aurora</i>	Northern Red-legged Frog	SC (May 2015)	Blue

Table 4. Listed plant species potentially occurring in the study area.

Scientific Name	English Name	BC List
<i>Bryocaulon pseudosatoanum</i>	pacific pretzel	Blue
<i>Erioderma solediatum</i>	vole felt	Blue
<i>Fuscopannaria leucostictoides</i>	frosted crackers	Blue
<i>Leioderma solediatum</i>	felted elf	Blue
<i>Pannaria rubiginosa</i>	considerable gingerbread	Red
<i>Parmotrema crinitum</i>	snuff ruffle	Blue
<i>Usnea glabrata</i>	lustrous beard	Blue

The list of rare ecological communities was refined by removing those plant communities that do not have the potential to occur, or are known not to occur in the study area based on the CDC’s Plant Community Account Summaries (BCCDC 2003). The review of potential rare ecological communities resulted in no potential rare ecological community presence on the subject property.

3.0 FIELD ASSESSMENT RESULTS

The field survey was conducted on March 5, 2019. The survey included flagging and geo-referencing of the watercourse located adjacent to the west side of Lot 13 identified on Schedule E of the Draft OCP as Stream #30. The watercourse consists of a well defined channel cut through high clay content soils, with clay banks and fairly uniform clay channel substrates (Photographs 1 – 4) through the length of channel surveyed. Average channel width was approximately 1.4 m with a flood channel of approximately 3.0 m. The channel is entrenched within a narrow, steep sided ravine. Due to the lack of spawning substrates, chronic turbidity associated with the clay channel and seasonal nature of the stream, overall fish habitat values were rated as low. No fish were observed during the survey.

A gravel surface walking trail runs along the stream within a 25 m wide corridor of dedicated parklands. Riparian vegetation is in overall good condition.

The field survey included an assessment of vegetation and survey for Sitka spruce trees on Lot 13. Five Sitka spruce trees were identified, measured and flagged on the property (Photographs 5 – 8), with two additional Sitka spruce identified adjacent to the property (Table 5). No Sitka spruce seedlings were documented during the survey.

Table 5. Sitka spruce trees on and adjacent to Lot 13

Waypoint	UTM Coordinates (WGS 84)			Comments
58	10U	312715	5423943	78 cm Dbh Sitka spruce, flagged pink, on property line
59	10U	312729	5423910	40 cm Dbh Sitka spruce, flagged pink
60	10U	312717	5423888	Mature Sitka spruce, off property, but with acute lean into property
63	10U	312714	5423766	65 cm Dbh Sitka spruce adjacent to Marine Drive, may be off property
64	10U	312733	5423802	130 cm Dbh Sitka spruce
65	10U	312733	5423815	75 cm Dbh Sitka spruce
67	10U	312751	5423872	41 cm Dbh Sitka spruce

The property consists of a previously disturbed rock quarry site in the southern half of the property, with the remainder forested in mixed age western hemlock, western redcedar, shore pine and occasional Sitka spruce. The understorey is typical of the Ucluth peninsula and includes dense salal, evergreen huckleberry, salmonberry, deer fern and sword fern.

Evidence of wildlife use documented during the survey included low numbers and diversity of common resident forest songbirds (spotted towhee, winter wren, Steller’s jay), red squirrel and blacktail deer. No active bird nests or nests belonging to those species protected under Section 34(b) of the provincial *Wildlife Act* (i.e. raptors / herons) were found during the survey.

4.0 Watercourse Setbacks

The setbacks required under Section 306.2 of Zoning Bylaw No. 1160, 2013 are 30 m from the natural boundary, except as expressly otherwise specified in a Zone, or in a registered covenant under section 219 of the *Land Title Act* in favour of the District or the Province.

Section 1.0 of Appendix A of the District of Ucluelet’s OCP indicates that “*The Riparian Area Regulation (RAR) assessment methods are to be followed with additional consideration of cumulative impacts of development along the entire length of the stream or wetland.* Section 2.1 of Appendix A indicates that *there will be a minimum setback of 5 meters on all streams in the DPA regardless of whether they are fish bearing or not, as they are corridors for animals. The QEP will use their own discretion to determine further setbacks or default to the “riparian assessment area” distances,* as stated on page 2, in the *Riparian Areas Regulation*, July 27 2004.

Under the RAR’s Detailed Assessment Method, the unnamed watercourse adjacent to the west side of Lot 13 would receive 10 m Streamside Protection and Enhancement Area (SPEA) setbacks, measured in horizontal distance perpendicular from the high water mark. Watercourse setbacks are shown on Figures 2 and 3.

Figure 2. Site survey plan overlaid on August 2016 air photo with watercourse setbacks

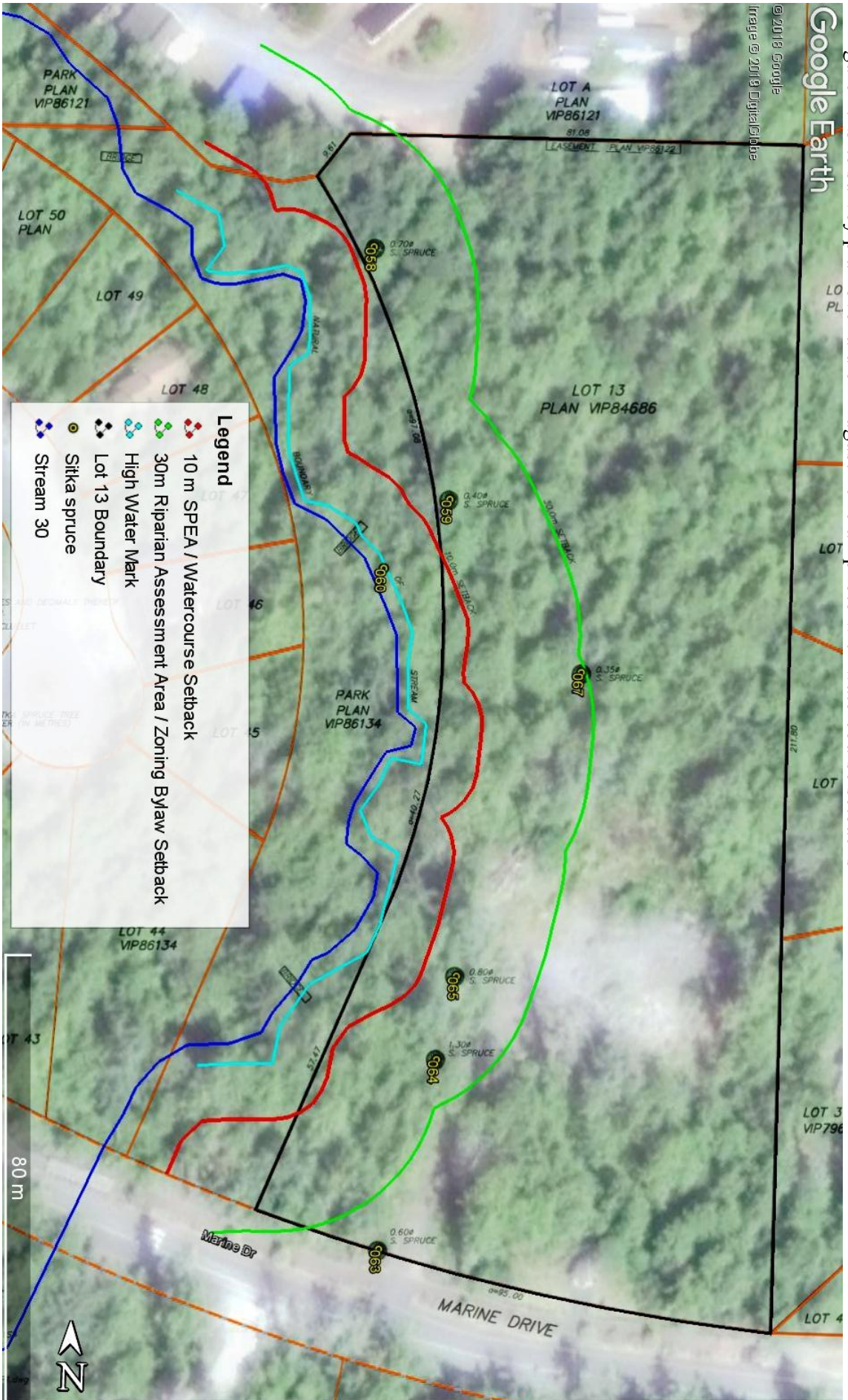


Figure 3. Conceptual site layout plan overlaid on August 2016 air photo with watercourse setbacks

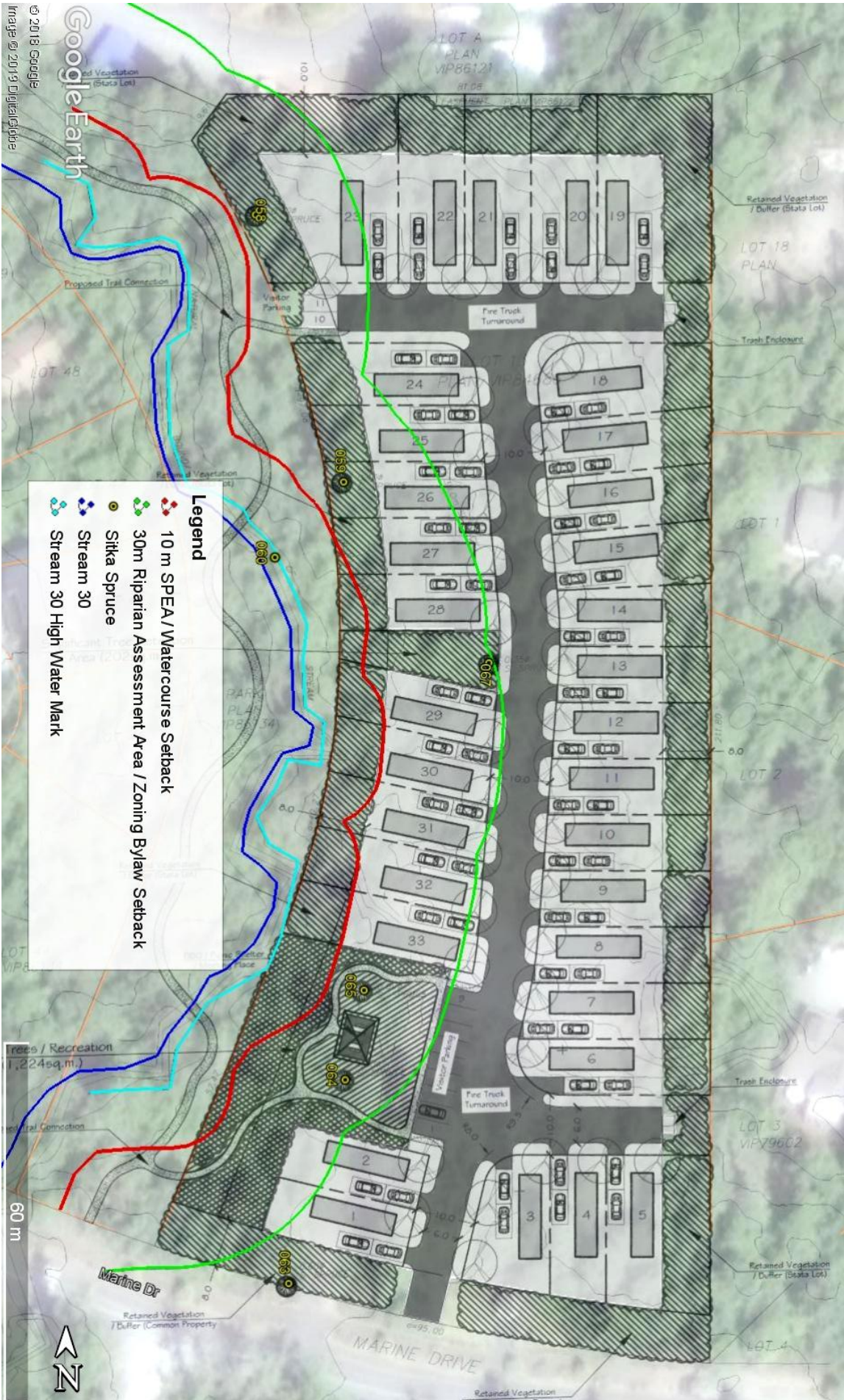
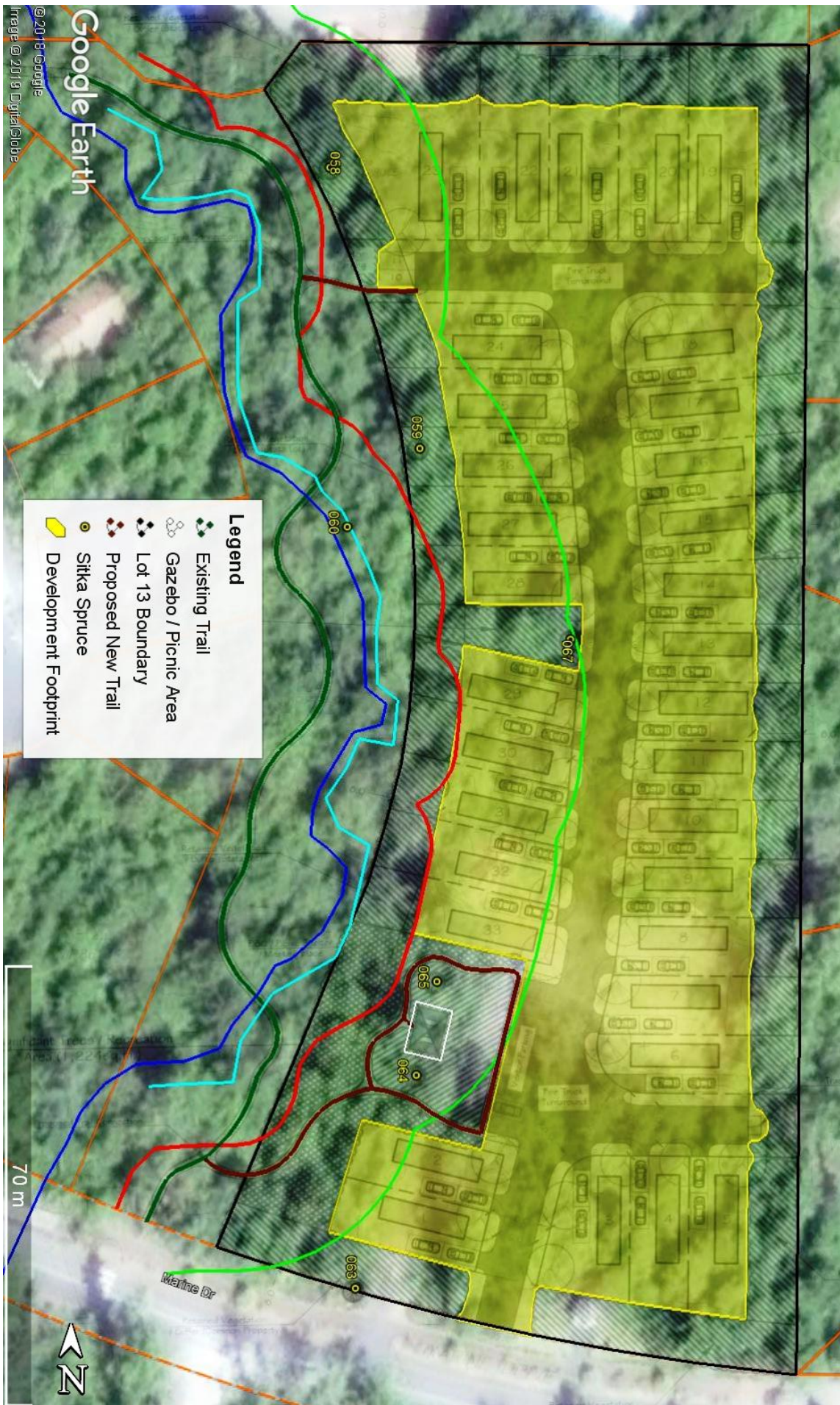


Figure 4. Conceptual Development Plan Footprint



5.0 Assessment of Potential Development Impacts

The footprint of the conceptual proposed development plan (Figure 4) preserves the Sitka spruce trees on the property, does not intrude within the 10 m SPEA setback and preserves a significant buffer of native vegetation around the border of the property.

6.0 Discussion & Recommendations

Section 1.0 of Appendix A indicates that “*The Riparian Area Regulation (RAR) assessment methods are to be followed with additional consideration of cumulative impacts of development along the entire length of the stream or wetland*”. While these directions appear to suggest that the provincial *Riparian Areas Regulation (RAR)* applies within the District of Ucluelet, our review of the information contained on provincial RAR website indicates that the RAR does not apply in the District of Ucluelet. This important fact should be clearly stated within Appendix A. The information contained in Appendix A indicates that “*There will be a minimum setback of 5 meters on all streams in the DPA regardless of whether they are fish bearing or not, as they are corridors for animals*”, however under the RAR’s Assessment Methods the minimum permissible setback is 10 m.

Under the RAR, the stream adjacent to Lot 13 would receive 10 m Streamside Protection and Enhancement Area (SPEA) setbacks, compared to the 30 m setback required by the District’s Zoning Bylaw. The Zoning Bylaw’s watercourse setback requirements appear to conflict with the Section 2.1 of Appendix A of the District’s OCP which states that *there will be a minimum setback of 5 meters on all streams*.

We recommend 10 m setbacks for the unnamed stream (Stream 30) adjacent to Lot 13.

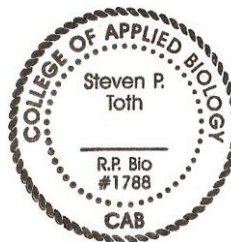
Based on the footprint of the conceptual layout we would consider the proposed development to represent minimal potential impact to environmentally sensitive features on and adjacent to Lot 13.

Please contact us if you require any additional information.

Sincerely,
Steve Toth, ASCT, R.P.Bio.



Toth and Associates Environmental Services



STATEMENT OF LIMITATIONS

This report was prepared exclusively for Andrew McLane by Toth and Associates Environmental Services. The quality of information, conclusions and estimates contained herein is consistent with the level of effort expended and is based on: i) information available at the time of preparation; ii) data collected by Toth and Associates Environmental Services, their contractors and/or supplied by outside sources; and iii) the assumptions, conditions and qualifications set forth in this report. This report is intended to be used by Andrew McLane only. Any other use or reliance on this report by any third party is at that party’s sole risk.

6.0 SURVEY PHOTOS



Photograph 1. March 5, 2019. View upstream on Stream #30 to footbridge crossing.



Photograph 2. March 5, 2019. View downstream on Stream #30.



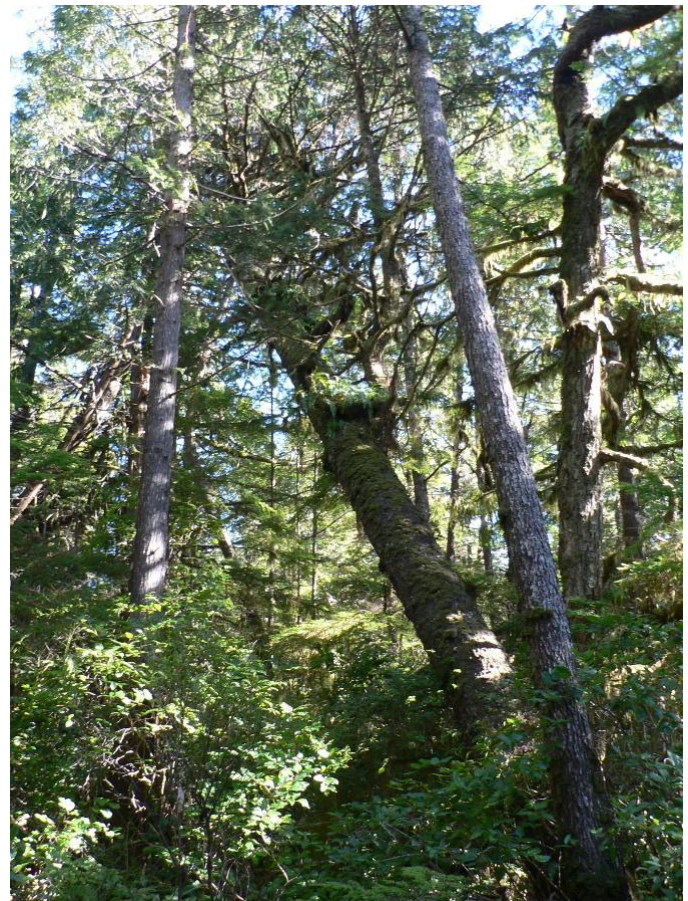
Photograph 3. View of typical clay channel and turbidity on Stream #30.



Photograph 4. View of typical section of stream channel on Stream #30.



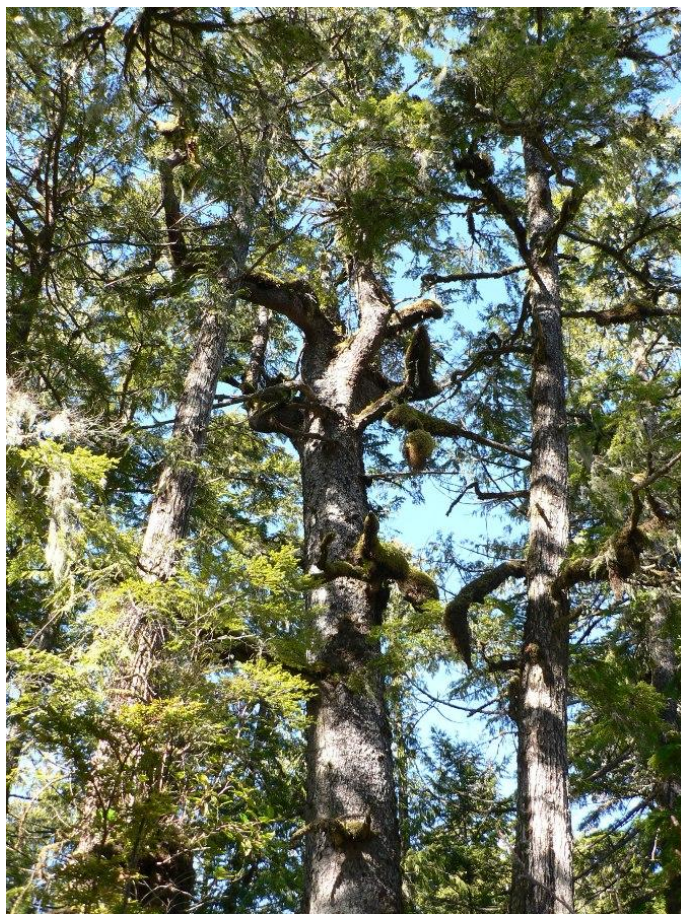
Photograph 5. View of 78 cm Dbh Sitka spruce at waypoint 058.



Photograph 6. View of Sitka spruce with acute lean into property at waypoint 060.



Photograph 7. View of 65 cm Dbh Sitka spruce at waypoint 063.



Photograph 8. View of 1.3 m Dbh Sitka spruce at waypoint 064.

Appendix A. Statement of QualificationsSTATEMENT OF QUALIFICATIONS

Mr. Steven Toth, ASCT, R.P.Bio is the owner and operator of Toth & Associates Environmental Services. Mr. Toth has 26 years of experience in the environmental consulting industry as a Registered Professional Biologist and Applied Science Technologist. Work experience consists of a diverse range of projects including environmental impact assessments, wildlife and ecological inventories, riparian area assessments, urban / sub-urban biophysical inventories, detailed fish habitat assessments, fisheries inventories, stream, lake and wetland classification, fisheries research and population assessments, forestry audits, water quality and environmental monitoring. Project experience includes:

- >350 Biophysical inventories for various land development projects;
- > 220 provincial *Riparian Areas Regulation* Assessments;
- 24 Wildlife EIAs for run-of-river hydropower developments;
- >50 Raptor and heron nest tree assessments;
- 4 Watershed Restoration Program Overview and Level 1 Fish Habitat Assessments, along with numerous other fisheries related projects;
- >50 environmental and water quality monitoring projects;
- 5 large scale 1:20,000 Forest Renewal B.C. Fish and Fish Habitat Inventories;
- >180 lake surveys conducted according to RISC standards and DFO's juvenile sockeye assessment methodologies; and,
- >40 Tree surveys for tree removal permit applications

EXAMPLES OF AREA PROJECT EXPERIENCE

Screening Level Ecological Inventory of Lots 3, 4, 5 and District Lot 283, Clayoquot District. *For Streamline Environmental Consulting Ltd. & Weyerhaeuser Co. Ltd.*

EIA of the Canoe Creek Hydroelectric Project. *For Streamline Environmental Consulting Ltd. & Tla-o-qui-aht First Nation.*

EIA of the Haa-ak-suuk Creek Hydroelectric Project. *For Streamline Environmental Consulting Ltd. & Tla-o-qui-aht First Nation.*

EIA of Klitsa, Maraude and South Sutton Creek Hydroelectric Projects. *For Streamline Environmental Consulting Ltd.*

EIA of a portion of Lot 479, Port Albion Road, Ucluelet, B.C. *For B.C. Hydro.*

Bio-inventory of District Lot 122, Clayoquot Land District, Tofino, B.C. *For Lanarc Consultants Ltd.*

Bio-inventory of District Lot 363 of the Ahousaht Lands, Flores Island, B.C. *For McGill and Associates Engineering Ltd. & Ahousaht First Nation.*

Bio-inventory of Lot 1431, Pacific Rim Highway, Tofino, B.C. *For Streamline Environmental Consulting Ltd.*

Juvenile Sockeye Stock Assessment 1994 – 1997 (included Kennedy, Muriel & Megin Lakes). *For Triton Environmental Consultants and Fisheries & Oceans, Canada.*

From: Nigel Gray nigel.macdonaldgray@telus.net
 Subject: Fwd: Data Request: Andrew McLane - ACMC HOLDINGS INC
 Date: July 18, 2019 at 10:53 AM
 To:



From: "Cooper, Diana FLNR:EX" <Diana.Cooper@gov.bc.ca>
 Date: June 21, 2019 at 9:21:09 AM PDT
 To: 'Andrew McLane' <andrewmclane@shaw.ca>
 Subject: RE: Data Request: Andrew McLane - ACMC HOLDINGS INC

Hello Andrew,

Thank you for your data request regarding Lot 13 Marine Drive, PID 027473538, LOT 13 DISTRICT LOT 283 CLAYOQUOT DISTRICT PLAN VIP84686. Provincial records indicate previously recorded archaeological site Dfsj-104 was recorded on the south end of the property near the road. Dfsj-104 was comprised of two culturally modified trees (CMTs), which were recorded in 2006 under HCA Permit 2006-0048 and subsequently removed from the property under Site Alteration Permit 2007-0257. There are no other known archaeological sites recorded on the property.

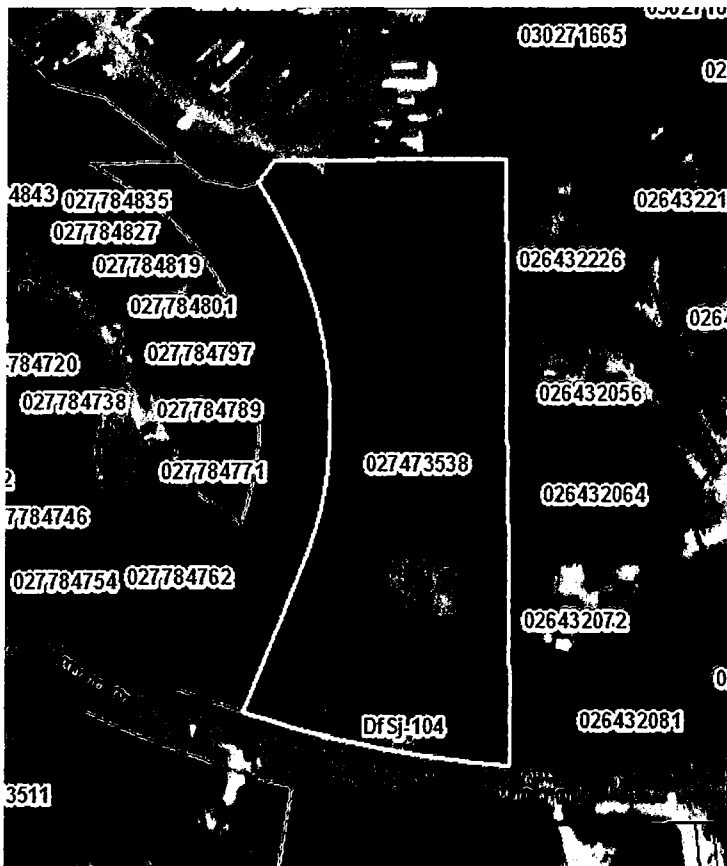
There is always a possibility for unknown archaeological sites to exist on the property. Archaeological sites (both recorded and unrecorded) are protected under the *Heritage Conservation Act* and must not be altered or damaged without a permit from the Archaeology Branch. If an archaeological site is encountered during development, activities must be halted and the Archaeology Branch contacted at 250-953-3334 for direction.

Please review the screenshot of the property below (outlined in yellow). If this does not represent the property listed in the data request, please contact me.

Please let me know if you have any questions regarding this information.

Kind regards,

Diana



Location of Dfsj-104. The cross-hatching indicates that the site was legaced after the 2 CMTs were removed. Legacy status

Format Required
Who Prompted

Wigel Gray or Macdonald Gray consultants. Architect.
PDF, Map(s)
My local government

File Attachment#1
File Attachment#2
File Attachment#3
File Attachment#4
File Attachment#5



Lewkowich Engineering Associates Ltd.
 geotechnical • health, safety & environmental • materials testing

ACMC Holdings Ltd.
 PO Box 124
 Parksville, BC
 V9P 2G3

File Number: F7252.01
 Date: June 26, 2019

Attention: Mr. Andrew McLane

**PROJECT: LOT 13, MARINE DRIVE, UCLUELET, BC
 AFFORDABLE HOUSING DEVELOPMENT**

**LEGAL: LOT 13, DISTRICT LOT 283, CLAYOQUOT DISTRICT, PLAN
 VIP84686**

SUBJECT: GEOTECHNICAL ASSESSMENT

Dear Mr. McLane:

1. INTRODUCTION

As requested, Lewkowich Engineering Associates Ltd. (LEA) has carried out a geotechnical assessment of the above referenced property. This report provides a summary of our findings and recommendations.

2. BACKGROUND

- a. LEA understands the proposed development would consist of subdividing the parcel in to thirty-three (33) strata lots for affordable housing, each supported by a cast-in-place concrete foundation system with crawlspace. The development will also include the installation of associated civil works and services and paved driveway areas.
- b. As per the 2011 District of Ucluelet Official Community Plan (OCP), LEA understands the property is located within Development Permit Area No. 8 (Former Forest Reserve Lands), as shown on the OCP Schedule 'C' – Development Permit Ares map.
- c. A Geotechnical Report is required stating what (if any) natural hazards exist, and to provide comments and recommendations for those hazards for the safe and suitable development of the land. We understand the primary concern regarding any hazards relates to oceanic flood levels and steep slopes of 30° or greater.

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Project: Lot 13, Marine Drive, Ucluelet, BC
Affordable Housing Development
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3. ASSESSMENT OBJECTIVES

Our assessment, as summarized within this report, is intended to meet the following objectives:

- i. Determine whether the land is considered safe for the use intended (defined for the purposes of this report as subdividing the parcel in to thirty-three (33) strata lots) for affordable housing, each supported by a cast-in-place concrete foundation system with crawlspace, with the probability of a geotechnical failure resulting in property damage of less than:
 - 2% in 50 years for geotechnical hazards due to seismic events, including slope stability; and,
 - 10% in 50 years for all other geotechnical hazards, except tsunami hazards, and flooding hazards to a 1 in 200 year occurrence level.
- ii. Identify any geotechnical deficiency that might impact the design and construction of the building, and prescribe the geotechnical works and any changes in the standards of the design and construction that are required to ensure the land, buildings, and works and services are developed and maintained safely for the use intended.
- iii. Acknowledge that Approving and/or Building Inspection Officer may rely on this report when making a decision on applications for the development of the land.

4. ASSESSMENT METHODOLOGY

- a. A visual reconnaissance of the property was carried out on June 19, 2019, which included hand probing of the subsurface soils using a T-Bar and observations of the existing site conditions, topography, and proposed building locations.
- b. LEA also reviewed the proposed layout site plan prepared by Macdonald Gray, and available topographical information provided by the District of Ucluelet's LIDAR map.

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5. SITE CONDITIONS

5.1. General

- a. The proposed development property is located in the central eastern region of Ucluelet, BC, on the north side of the Marine Drive near Brown's Beach.
- b. The subject parcel is currently zoned as a "Comprehensive Development Sub-Zone" (CD-5C) property identified generally as "Former Weyco Forest Lands", and specifically as "Oceanwest". The parcel is bound to the west by other "Comprehensive Development Sub-Zone 5-C" (CD-5C) properties, including an establish trail corridor; to the east by "Comprehensive Development Sub-Zone 3" (CD-3) properties identified as "Rainforest"; to the north by "Manufactured Home Park" (MH) property; and to the south by Marine Drive. Brown's Beach is also located at the north extent of a prominent surge channel to the immediate south of Marine Drive and the subject parcel.
- c. The property is generally rectangular in shape with a total land area of 3.7-acres. In general, the terrain is somewhat level from the road frontage through the center of the parcel, with the exception of a well-defined stream channel that follows the west side of the property. Undulating exposed bedrock outcropping can also be found south of the center of the property, with large boulders and rock rubble indicating previous site manipulation by way of rock breaking or blasting. Steep slopes were observed on the north side of the bedrock outcrop, estimated to be between 30°-60°. LEA also noted a buried 600mm diameter culvert in an east to west orientation near the center of the parcel. A 2.0m to 3.0m high, approximately 1H:1V (45°) bank was also noted at the north and northeast extent of the property. It is presumed this bank consists of shallow to near-surface bedrock.
- d. The general surface of the subject property is covered with salal, dense brush, tall grasses, and immature to mature trees and stumps throughout the parcel, with the exception of a

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gravel and rock rubble access lane immediately north of Marine Drive.

5.2 Soil Conditions

- a. LEA inspected the soil conditions at various locations across the subject parcel by way of hand probing using a T-bar.
- b. In general, the soil strata consists of approximately 450mm to 600mm of organic silt and debris (roots, wood) overlying dense to very dense sub soil (interpreted to be glacial till and or bedrock). Based on the native ground conditions that LEA has observed at other properties in the area, the expected subgrade soils should consist of bedrock and or dense glacial till throughout the proposed building area.
- c. Based on the buried 600mm culvert found in the approximate center of the parcel, isolated areas of fill material may be present.
- d. The bedrock in this region is typically moderately fractured near surface (1.5m) to homogenous with depth. These rock formations are categorized as undivided volcanic rocks part of the Pacific Rim Complex, and date back to the late Triassic to Cretaceous period.
- e. Depths are referenced to the existing ground surface at the time of our field investigation. Soil classification terminology is based on the Modified Unified classification system. The relative proportions of the major and minor soil constituents are indicated by the use of appropriate Group Names as provided in ASTM D2487 Figures 1a, 1b, and 2. Other descriptive terms generally follow conventions of the Canadian Foundation Engineering Manual.

5.3 Groundwater

- a. There was no groundwater seepage observed during the field investigation; however, due to the undulating topography and shallow, impermeable subgrade it is possible low-lying areas

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may be subject to water pooling during the wet season.

- b. Groundwater levels can be expected to fluctuate seasonally with cycles of precipitation. Groundwater conditions at other times and locations can differ from those observed during our preliminary assessment. It is expected groundwater levels may vary across the site, with surface flow channels towards the defined stream during the height of the rainy season.

5.4 On Site Infiltration and Stormwater Disposal

- a. As part of the geotechnical investigation, field observations of the subgrade soil conditions with respect to the on-site infiltration and disposal of stormwater were carried out.
- b. In general, subgrade soil conditions are expected to consist of organic materials overlying dense to very dense glacial till and / or bedrock.

5.5 Natural Hazards – Steep Slope & Tsunami Inundation

- a. In general, steep slopes greater than 30° are confined to two areas on the property, specifically across the northern extent, and along the north side of the exposed bedrock to the south and east of the parcel center. The maximum height of these steep slopes varies from approximately 2.0m to 5.0m, orientated between 30°-60°.
- b. A review of the District of Ucluelet LIDAR map reveals the defined stream channel to the immediate west of the property also contains banks greater than 30°. The maximum height of these banks range from 1.5m to 2.0m.
- c. A review of the Schedule 'G' map found in the 2018 OCP update (draft) reveals a portion of the subject property falls within a development permit area for hazardous conditions, specifically "shoreline areas that may be subject to flooding". In this case, the risk of flooding is related to tsunami inundation.

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- d. While the severity and frequency of tsunamis are impossible to predict, there is geological evidence to indicate large tsunamis originating from both distant and nearby earthquakes have impacted the West Coast of Vancouver Island in the past. Coastal communities along BC's west coast are therefore at high risk of flood hazard caused by tsunamis due to the tectonically unstable Pacific Rim.
- e. Tsunami wave heights and inundation can vary significantly due to location, the shape of the coastline and offshore bathymetry, topography, and tides. For the westcoast the current guidelines estimate a tsunami wave height of 3.0m and wave run-up of 6.0m, with an expected subsidence of 1.0m during a large seismic event. Therefore, in preparation of this report we have considered the location of the property immediately north of the prominent surge channel at Brown's Beach.
- f. In the absence of a site specific topographic survey we have reviewed elevations across the property and neighboring trail corridor using the available LIDAR information provided by the District of Ucluelet. In general, elevations range from a low of approximately 9.6m geodetic (stream bed) to a high of 23.0m geodetic (northeast corner of subject property).

6. CONCLUSIONS AND RECOMMENDATIONS

6.1 General

- a. From a geotechnical point of view, the land is considered safe for the use intended (defined for the purposes of this report as subdividing the parcel in to thirty-three (33) strata lots) for affordable housing, each supported by a cast-in-place concrete foundation system with crawlspace, with the probability of a geotechnical failure resulting in property damage of less than:
- 2% in 50 years for geotechnical hazards due to seismic events, including slope stability; and,

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- 10% in 50 years for all other geotechnical hazards, except tsunami hazards, and flooding hazards to a 1 in 200 year occurrence level, provided our recommendations are followed.

- b. Based on discussions with the client regarding the proposed building design, and information gathered from our assessment, it is LEA's opinion the property is suitable given our recommendations and applicable setbacks are followed.

6.2 Foundation Design & Construction

- a. Prior to construction, the building areas should be stripped to remove all unsuitable materials to provide an undisturbed natural soil subgrade for footing support.
- b. Foundation loads should be supported on natural undisturbed soil approved for use as a bearing stratum by our office and may be designed using the following values:
 - i. For foundations constructed on structural fill, as outlined in Section 6.4 of this report, a Service Limit State (SLS) bearing pressure of 150 kPa, and an Ultimate Limit State (ULS) of 200 kPa may be used for design purposes. These values assume a minimum 0.45m depth of confinement or cover.
 - ii. For foundations constructed entirely upon bedrock, a Service Limit State (SLS) bearing pressure of 250 kPa, and an Ultimate Limit State (ULS) of 333 kPa may be used for design purposes.
- c. Exterior footings should be provided with a minimum 0.45m depth of ground cover for frost protection purposes.
- d. Prior to placement of concrete footings, any bearing soils that have been softened, loosened, or otherwise disturbed during the course of construction should be removed, or else compacted following our recommendations for structural fill. Compaction will only be

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feasible if the soil has suitable moisture content and if there is access to heavy compaction equipment.

- e. LEA may provide further recommendations for founding directly on bedrock, based on the conditions encountered during construction.
- f. Settlements should be within the ranges considered "Normal and Tolerable" for typical wood frame buildings. These ranges are usually taken as being 20mm to 25mm total, and 10mm to 15mm differential between typical column spacing.
- g. The Geotechnical Engineer should evaluate the bearing soils at the time of construction to confirm that footings are based on appropriate and properly prepared founding material.

6.3 Removal of Unsuitable Materials and General Excavation Recommendations

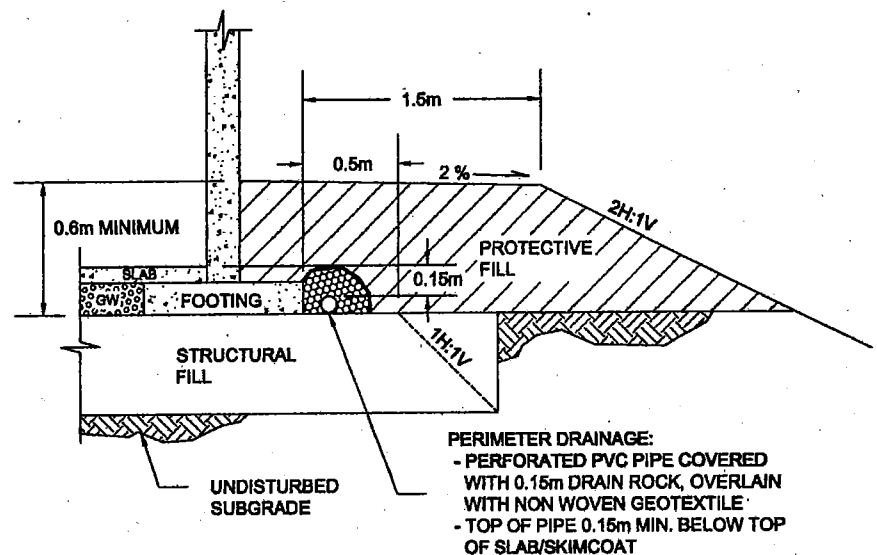
- a. Prior to construction, all unsuitable materials should be removed to provide a suitable base of support. Unsuitable materials include any non-mineral material such as vegetation, topsoil, peat, fill or other materials containing organic matter, as well as any soft, loose, or disturbed soils.
- b. Based on our limited field investigation, we expect unsuitable materials to a maximum depth of 1.0m, with the exception of possible rock rubble fills throughout the center of the parcel (depth and thickness unknown). Actual conditions may vary and become more apparent during construction.
- c. Groundwater ingressing into any excavations should be controlled with a perimeter ditch located just outside of the building area, connected to positive drainage.
- d. The Geotechnical Engineer is to confirm the removal of unsuitable materials and approve the exposed competent inorganic subgrade.

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6.4 Structural Fill

- a. Where fill is required to raise areas that will support buildings, slabs, or pavements, structural fill should be used. The Geotechnical Engineer should first approve the exposed subgrade in fill areas, to confirm the removal of all unsuitable materials. Wherever possible, the thickness of structural fill should be consistent in all areas below the footing elevation to minimize potential of differential settlements.
- b. Structural fill should be inorganic sand and gravel or well-graded crushed rock. If structural fill placement is to be carried out in the wet season, material with a fines content limited to 5% passing the 75 μ m sieve should be used, as such a material will not be overly sensitive to moisture, allowing compaction during rainy periods of weather.
- c. Structural fill should be compacted to a minimum of 95% of the corresponding Modified Proctor maximum dry density (ASTM D1557) in foundation and floor slab areas, as well as in paved roadway and parking areas.
- d. Structural fills under foundations, roadways, and pavements should include the zone defined by a plane extending down and outward a minimum 0.5m from the outer edge of the foundation at an angle of 45 degrees from horizontal to ensure adequate subjacent support. This support zone is shown in the adjacent figure.



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- e. Compaction of fill should include moisture conditioning as needed to bring the soils to the optimum moisture content and compacted using vibratory compaction equipment in lift thickness appropriate for the size and type of compaction equipment used.
- f. A general guideline for maximum lift thickness is no more than 100mm for light hand equipment such as a 'jumping-jack', 200mm for a small roller and 300mm for a large roller or heavy (>500 kg) vibratory plate compactor or a backhoe mounted hoe-pac or a large excavator mounted hoe-pac, as measured loose.
- g. It should be emphasized that the long-term performance of buildings, slabs, and pavements is highly dependent on the correct placement and compaction of underlying structural fills. Consequently, we recommend that structural fills be observed and approved by the Geotechnical Engineer. This would include approval of the proposed fill materials and performing a suitable program of compaction testing during construction.

6.5 Seismic Issues

- a. No compressible or liquefiable soils were encountered in the relatively shallow surface investigation conducted for this report.
- b. Based on the 2018 British Columbia Building Code, Division B, Part 4, Table 4.1.8.4.A, 'Site Classification for Seismic Site Response,' the soils and strata encountered during the test-pitting investigation would be 'Site Class C' (Very Dense Soil and Soft Rock) if founded on competent bedrock or approved engineered fill materials.

6.6 Natural Hazards and Slope Setbacks

- a. Based on the field reconnaissance and a desktop review of available information, it is the opinion of LEA that oceanic flooding due to tsunami inundation and steep slopes are the only aspects, or potential geotechnical hazards that may impact the proposed development of the property. Furthermore, the nature of the anticipated subgrade soil conditions (and

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general topography) is resistant to erosion and associated issues such as debris flows, torrents, and landslides.

- b. We understand through discussions with the client it is expected there will be significant manipulation of the current site topography during construction by way of rock breaking or blasting. Therefore, for buildings or driveways in proximity to the known rock outcropping that may result in steep slopes after manipulation we recommend that setbacks be provided as a precautionary measure against slope degradation or rock fall due to erosion or seismic action.
- c. In general, steep slopes ($>30^\circ$) were identified at various locations on the property, with heights ranging from 1.5m to 5.0m. As a general guideline, where buildings are set below bedrock slopes a minimum setback of 5.0m from the toe of slope is recommended to provide a landing area for potential rock fall. During construction LEA should be contacted to review any steep slopes in proximity to the proposed building locations.
- d. Due to the risk of tsunami inundation at the subject property LEA suggests a minimum floor elevation (habitable space) no less than 10.0m geodetic. This applies to either the underside of floor joists or top of a concrete slab on grade. This elevation was taken from Tofino's tsunami inundation map.
- e. If a Tsunami Warning is issued for the area, follow evacuation procedures provided by local and provincial government agencies. The "safe" designated tsunami elevation is above 20m geodetic.

6.7 Permanent Dewatering

- a. Conventional requirements of the 2018 British Columbia Building Code pertaining to building drainage are considered suitable at this site. Once final plans and tentative elevations are determined, the Geotechnical Engineer should be consulted to provide further

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dewatering data.

- b. Ground surfaces should be graded to direct surface water away from buildings and structures. Any settlement of backfill around foundations will create undesirable low areas for collection of surface water next to the building, and should be immediately corrected by placement of additional backfill to restore positive surface drainage away from buildings and structures. Settlement of backfill should be negligible provided backfill is placed and compacted following our recommendations regarding structural fill.

6.8 Pavement Design – On Site Driveways & Parking Areas

- a. Any organic or deleterious material should be removed from beneath the designated roadway, driveway, or parking areas prior to subgrade preparation. If fill is required to bring the subgrade up to a desired elevation, structural fill should be used.
- b. The subgrade should be proof rolled after final compaction and any areas showing visible deflections should be inspected and repaired.
- c. An estimated soaked California bearing ratio of 30% and a 20 year design life have been used in the following recommended pavement designs.

- i. Areas subject to car and light truck vehicles:

Estimated E.S.A.L. = 2×10^4

Asphaltic Concrete Pavement	= 50 mm
Granular Base Course (19mm crush)	= 100 mm
Standard Subbase Preparation (SGSB)	= 250 mm

- ii. Areas subject to heavy trucks:

Estimated E.S.A.L. = 1×10^5

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Asphaltic Concrete Pavement	= 75 mm
Granular Base Course (19mm crush)	= 150 mm
Standard Subbase Preparation (SGSB)	= 300 mm

- d. It is recommended that a reinforced concrete slab be utilized where garbage dumpsters are located. The slab should be large enough to contain the disposal unit and front tires of the garbage truck during disposal operations.

7. GEOTECHNICAL ASSURANCE AND QUALITY ASSURANCE

The 2018 British Columbia Building Code requires that a geotechnical engineer be retained to provide Geotechnical Assurance services for construction of this nature. Geotechnical Assurance services include review of the geotechnical components of the plans and supporting documents, and responsibility for field reviews of these components during construction.

8. ACKNOWLEDGEMENTS

Lewkowich Engineering Associates Ltd. acknowledges that this report may be requested by the building inspector (or equivalent) of the District of Ucluelet as a precondition to the issuance of a building permit. It is acknowledged that the Approving Officers and Building Officials may rely on this report when making a decision on application for development of the land. We acknowledge that this report has been prepared solely for, and at the expense of Mr. Andrew McLane of ACMC Holdings Ltd. We have not acted for or as an agent of the District of Ucluelet in the preparation of this report.

9. LIMITATIONS

The conclusions and recommendations submitted in this report are based upon the data obtained from a limited field investigation. The nature and extent of actual site conditions may not become evident until construction or further investigation. The recommendations

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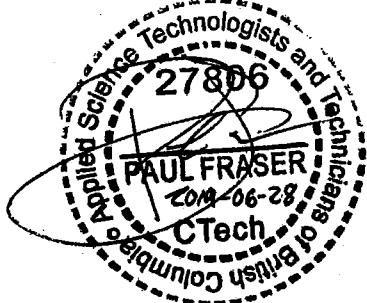


given are based on the subsurface soil conditions encountered during the limited field investigation, current construction techniques, and generally accepted engineering practices. No other warrantee, expressed or implied, is made. Due to the geological randomness of many soil formations, no interpolation of soil conditions has been made or implied. If other soils are encountered, unanticipated conditions become known during construction or other information pertinent to the structures become available, the recommendations may be altered or modified in writing by the undersigned.

10. CLOSURE

Lewkovich Engineering Associates Ltd. appreciates the opportunity to be of service on this project. If you have any comments, or additional requirements at this time, please contact us at your convenience.

Respectfully Submitted,
 Lewkovich Engineering Associates Ltd.



Paul Fraser, B.A., CTech
 Senior Technician



Chris Hudec, M.A.Sc., P.Eng.
 Senior Project Engineer



STAFF REPORT TO COUNCIL

Council Meeting: November 26, 2019
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: BRUCE GREIG, MANAGER OF COMMUNITY PLANNING

FILE NO: 3360-20-RZ19-05

SUBJECT: BEST PRACTICES FOR DELIVERING AFFORDABLE HOUSING

REPORT NO: 19- 154

1.0 RECOMMENDATION:

This report is for information only.

2.0 PURPOSE

The purpose of this report is to provide further information on best practices and approaches for supporting affordable housing development in the District of Ucluelet. This report describes key considerations for Council regarding affordable housing and outlines a number of mechanisms for its delivery.

The following provides a summary of recommended best practices for developing and maintaining affordable housing. These include clear approaches for initiating affordable housing projects, building design and construction, establishing mechanisms for ensuring affordability, and securing partnerships for the long-term maintenance and management of the housing.

3.1 Defining Affordable Housing and Housing Needs

A key first step in introducing affordable housing initiatives is understanding the current housing needs of the community (i.e. what type of housing is required and how much) and clearly defining what constitutes “affordable” in Ucluelet. The current definition of affordable housing in the District of Ucluelet Official Community Plan is:

“Affordable Housing is defined as housing suitable for households of low & moderate income (with incomes that are 80% or less than the median household income in the District of Ucluelet as reported by Statistics Canada and as defined by Canada Mortgage Housing Corporation, CMHC).”

This definition effectively captures most of the households that are affected by barriers to affordability, especially households that are under the most pressure. However, the current housing pressures faced in communities in BC are putting significant strain on all levels of income that are entering the housing market. Although pressure is most acutely felt by households with lower incomes, it is important to note that due to market conditions there are an increasing number of households that have an income that is higher than 80% of the median household incomes, that are paying over 30% of their income towards housing.

In addition to the approaches described below, it is important to note that local governments also affect housing affordability by the exercise of their powers to adopt zoning and land use regulations. The combination of permitted uses and lot sizes – which are typical matters for zoning bylaws – can greatly affect the cost of both ownership and rental housing. Critically adjusting these regulations to make housing more efficient and less costly for working households is sometimes referred to as “affordability by design”. Municipalities can achieve great impact by taking this approach, and staff have identified areas of the Ucluelet zoning bylaw deserving of review.

Forms of Affordable Housing

To ensure the viability and sustainability of affordable housing it is also important to consider the energy efficiency and quality of the units provided. Housing should be energy efficient to ensure that the units are truly affordable for the residents living there and should be built to withstand the challenging coastal weather conditions of Ucluelet.

3.2.1 Constructed Multi-Family Housing

Typically, affordable housing projects have opted for the construction of apartments as a means of meeting the needs of residents in the community. This provides the opportunity to house a great number and diversity of residents and families in a variety of units and presents opportunities for higher density and low impact development, as well as ground floor commercial potential. However, the





cost of construction for 'built' units is typically much higher per unit when compared to manufactured or prefabricated units.

For example, in the District of Sooke, the new Knox Centre is an affordable housing project that can house up to 42 families and was built with green technologies. Its central location provides residents with proximity to services that they need, and there are hopes to support a coffee shop on the ground level.



KNOX CENTRE, 42 AFFORDABLE AND ENERGY-EFFICIENT HOUSING UNITS IN SOOKE

3.2.2 Modular or Prefabricated Housing

Alternatively, as affordable housing is an important topic for many in BC, a number of companies and organizations are using modular (or prefabricated) homes as a means of delivering high quality, affordable, and efficient housing units.



MODULAR, AFFORDABLE AND ENERGY-EFFICIENT HOUSING UNITS IN WHISTLER

Modular homes are an important form of housing that provides an affordable alternative to traditional home ownership for many residents in BC. These units range in form, quality, and size, and can meet the needs of a diversity of residents, as well as delivering a more robust and energy efficient unit than mobile homes. The operation and management of affordable modular homes would function similarly to any other affordable rental or ownership, if strata.

3.2.3 Mobile or Manufacture Housing

Though providing an affordable housing option, by comparison, manufactured trailers or mobile homes tend to suffer from lower levels of energy efficiency. According to the American Council for Energy-Efficient Economy (ACEEE), those who owned a manufactured home “spent more money on their energy bills than on home loans” and spent twice as much on energy costs per square foot than those who owned a traditional single-family home.¹ It should also be noted, that affordable mobile home parks are not a common form of affordable housing developed by BC Housing and other not-for-profit housing authorities, possibly due to the stigmas that exist around mobile homes. Since non-profits conduct an important part of the operations and management of affordable housing, it may present a risk to manage properties that have a stigma associated to them. An additional consideration for the management of mobile home parks is the age and condition of the mobile homes on the site. There may be asset management implications for mobile home parks where homes are of varying age and condition.

3.2 Managing Affordable Housing

Typically, municipalities have been reluctant to manage affordable housing due to the ongoing nature of contributing to funding for operational dollars each year, ensuring tenants meet income or other tenancy requirements, and generally developing capacity and

¹ American Council for an Energy-Efficient Economy (2016). <https://aceee.org/blog/2016/08/mobile-homes-move-toward-efficiency>

resources to manage a complex housing asset. This is work; it takes a commitment of resources which have competing demands in the function of a municipality. Instead, many municipalities have found success and impact by contributing land or capital funding to affordable housing projects and supporting these projects through the development incentives. The management of affordable housing has fallen largely to non-governmental organizations, many of which are non-profit housing corporations (but could also include co-operatives).

Communities that have chosen to operate affordable housing are typically larger organizations, such as Metro Vancouver and Whistler, and typically do so at arms' length through a Housing Authority.

In other cases, Regional Districts have proposed a service fee for affordable housing. For example, the Cowichan Valley Regional District has proposed a service to provide annual capital and operating funding to the Cowichan Housing Association, and in the Comox Valley Regional District has approved the use of tax dollars to support affordable housing projects. These services are a progressive opportunity for communities to support the Comox Valley Coalition to End Homelessness 5-Year Plan to End Homelessness. However, it can be challenging to obtain full buy-in to secure approval for these services.

Another example in the Capital Regional District, is found in the Capital Region Housing Corporation (CRHC). The CRHC owns and operates 1,418 units in 46 housing complexes located among 7 municipalities. The operation is partially funded by contributions from member municipalities.

In these cases, communities work at arms length with organizations, and contribute little to the direct governance and decision-making around affordable housing projects - much like the operation of a regional library service.

3.3 Securing Partnerships

The most important first step to ensuring the sustainable management of affordable housing is to secure an operational partner—typically, this is a non-profit housing corporation. The developer should work with the operational partner to determine that the proposed project is feasible, desirable, based on community need, and to ensure that it falls within the organization's mandate and operational abilities.

The Tofino Housing Corporation is a non-profit development partner that is owned in full by the District of Tofino. The Housing Corporation's mandate is to provide affordable and attainable housing to Tofino residents and employees. Given the proximity of Tofino and Ucluelet, and the mobility of residents in the service industry of the region, it may be worth exploring options with the Tofino Housing Corporation as a potential partnership to ensure the longevity and viability of an affordable housing project in Ucluelet.

3.4 Mechanisms for Maintaining Affordable Housing

Affordable housing can be developed in a number of ways and with many different stakeholders. Maintaining the affordability of housing into the future may depend on who is involved in owning and developing the land, and who will be operating and maintaining the housing and infrastructure assets.

Under provincial financing, a lease (typically one dollar) would be signed between BC Housing and the landowner (e.g. a municipality if on District owned land), with a typical duration of 60 years. This lease typically outlines the type of housing, level of affordability (i.e. rents and potential rent escalation), responsibility for maintenance, and terms for engaging an operating partner (i.e. non-profit). Subsequently, there is a mortgage on the asset (building) which have historically been 35-year terms. A Housing Agreement is typically tied to the duration of the mortgage and ensures that the housing remains affordable for the given period. Recently, as Housing Agreements expire, BC Housing has been extending them to ensure that units remain affordable. However, if agreements are not extended, typically non-profits managing the unit who have paid down the mortgage would need to look either at adjustments to rent levels (i.e. affordability) or consider redevelopment.

Municipalities may also register Housing Agreements on projects. For example, the City of Kelowna developed a purpose-built (market-level) rental incentive program, that required developers to sign a 10-year housing agreement ensuring that units would stay as rentals. This incentive program is currently being strengthened, with a proposed Housing Agreement term of 20 years. These projects were not financed by a provincial, or federal partner.

Through CMHC's Rental Construction Financing Initiative, purpose-built market rental housing is financed at favourable terms, with an amortization period (and consequent legal / housing agreement) of 50 years. This can be paired with other CMHC programs (e.g. Co-Investment Fund) to ensure increased affordability.

Considering the multitude of options for developing, financing and maintaining affordable housing, the following four approaches have been developed to discuss ownership and management approaches for Ucluelet (see **Table 1.0** below).

Table 1.0 – Approaches for Maintaining Affordable Housing

<p>Approach 1: District of Ucluelet-Led</p> <p>The District should not maintain Affordable Housing themselves but may decide to create their own non-profit housing corporation to administer affordable housing.</p>	<ul style="list-style-type: none"> • Where there is a developable parcel, the District of Ucluelet and the developer could negotiate the portion of parcel to be dedicated for affordable housing. • The amount of affordable housing should be determined in line with the District’s policies. • If a portion of the developable parcel is subdivided, and leased or donated to the District of Ucluelet, Ucluelet could turn this over to a non-profit organization to operate or develop a non-profit housing corporation. • The land could be leased to the non-profit or to BC Housing.
<p>Approach 2: Non-Profit-Led</p> <p>An existing non-profit housing corporation would operate the affordable housing to community’s benefit.</p>	<ul style="list-style-type: none"> • The land could be leased to the non-profit to operate, maintain, and manage the provision of affordable and attainable housing. • The non-profit would likely choose to engage BC Housing and/or CMHC in a project to support capital/financing/operating needs.
<p>Approach 3: Developer-Led</p> <p>Affordability criteria, such as rental increases, are challenging to meet without financing and partners. There is little incentive for developers to maintain the assets.</p>	<ul style="list-style-type: none"> • The developer may choose to build and operate the development, with a Housing Agreement in place to ensure it remains affordable. • HousingHub is a program that is administered through BC Housing to support private developers to deliver market level rental housing, with a component of housing at affordable levels. • The units would be maintained at an affordable level through a covenant on the specific units that are below market rent. • A non-profit operator, such as Tofino Housing Corporation, may be included to manage some or all of the units.
<p>Approach 4: BC Housing-Partnership</p> <p>Involving BC Housing as a partner offers security, as they want to see the project succeed.</p>	<ul style="list-style-type: none"> • BC Housing does not often lead their own development projects, other than the supportive housing initiatives (i.e. modular supports to address homelessness). • BC Housing could play an active partnership role in Approaches 1-3, but would usually look for a non-profit/development consultant partnership to apply for funding, lead the pre-development planning and concept development, etc. • Leasing land to BC Housing could provide funding and support for the development of an affordable housing project. • The project would be operated by a non-profit housing corporation overseen by BC Housing.

3.5 Key Steps for Establishing an Affordable Housing Agreement

- Secure a partner for the operation and management of the affordable housing project.
- Work with the operational partner to determine that the proposed project is feasible, desirable, based on community need, and that it falls within the organization's mandate and operational abilities.
- Explore opportunities for partnership with BC Housing to offer security (financial and other) to ensure the success of the project.
- Determine a suitable form of housing that will be robust, energy efficient, and cost effective to maintain, especially given the harsh weather conditions in Ucluelet.

3.7 What is affordable housing?

'Affordable housing' is a commonly used term but each person or organization can interpret its meaning differently. The term 'affordable' can be used as an overarching term applying to all types of housing including standard market-based housing. Housing that is commonly considered 'social housing' or government-subsidized housing may be referred to with the term 'non-market housing'. Alternatively, the term 'market-affordable housing' may be used for housing that is market priced and meets the general requirements of affordability, based on household income.

Defining Housing Affordability

The Canada Mortgage and Housing Corporation (CMHC) defines housing as affordable when a household spends less than 30 per cent of its gross (before-tax) income on acceptable shelter. Shelter costs will differ between renters and homeowners.

Renter shelter costs	Homeowner shelter costs
Rent payment	Mortgage payment (principal & interest)
Electricity	Property taxes
Heating	Condominium/strata fees (if applicable)
Essential municipal services (i.e. water)	Electricity
	Heating
	Essential municipal services (i.e. water)

Acceptable shelter refers to housing that is adequate in condition, suitable in size, and affordable. In other words, affordable housing means housing that is available at a cost that does not compromise a household's ability to attain other basic needs of life, including needs for food, clothing and access to education. Under these definitions, affordable housing applies to all Canadians, whether they earn \$20,000 or \$200,000 per year. It is simply a ratio of a household's shelter costs in comparison to their income.

Preparing a community Housing Needs Assessment is a project which aims at quantifying the current supply of housing (number, type, condition, cost, etc.) and comparing it to the community's needs (population, age, household sizes, incomes, etc.) to identify where gaps exist in the spectrum of housing supply.



Developing a Housing Needs Assessment is now required in BC for all local governments. The Districts of Ucluelet and Tofino have both budgeted to undertake a Housing Needs Assessment in 2020, and are intending to approach this study as a joint project. This kind of sub-regional approach makes sense for the west coast, where people live and work interchangeably in both towns; it is arguably one labour and housing market.

Affordability figures

The following tables provide an approximation of what shelter costs should be limited to for households earning between \$20,000 and \$100,000 in order to meet the CMHC's definition of affordability.

Rental

Gross annual income	\$20,000	\$40,000	\$60,000	\$80,000	\$100,000
30% of gross income per month	500	1,000	1,500	2,000	2,500
Less: Utilities (monthly)	(150)	(150)	(150)	(150)	(150)
Maximum rent (monthly)	\$ 350	\$ 850	\$ 1,350	\$ 1,850	\$ 2,350

Assumption: A portion of the utility cost is covered in the rent amount (i.e. water and sewer)

The table demonstrates that a household earning \$60,000 per year would need to keep its rent below \$1,350 per month to meet the definition of affordability. This figure is based on the assumption that a portion of utility costs (i.e. water and sewer) is covered in the rent amount, which is common in many rental accommodations. If heat and electricity utilities cost more than \$150 per month, then the household would need to reduce its rent accordingly to remain under the affordability threshold.

Homeowner

Gross annual Income	\$20,000	\$40,000	\$60,000	\$80,000	\$100,000
30% of gross income per month	500	1,000	1,500	2,000	2,500
Less: Utilities (monthly)	(250)	(250)	(250)	(250)	(250)
Less: Property taxes (monthly)	(25)	(80)	(135)	(185)	(240)
Max. mortgage payment (monthly)	\$ 225	\$ 670	\$ 1,115	\$ 1,565	\$ 2,010
Maximum purchase price	\$ 39,000	\$ 117,000	\$ 195,000	\$ 274,000	\$ 350,000

Assumptions: 5% down payment, 5% interest rate, 25-year amortization

In terms of home ownership, the same household earning \$60,000 would need to keep its mortgage payment below \$1,115 per month to meet the affordability threshold. Assuming a 5 per cent down payment, 5 per cent interest rate and a 25-year amortization, a maximum

mortgage payment of \$1,115 per month would allow a household to purchase a home worth approximately \$195,000.